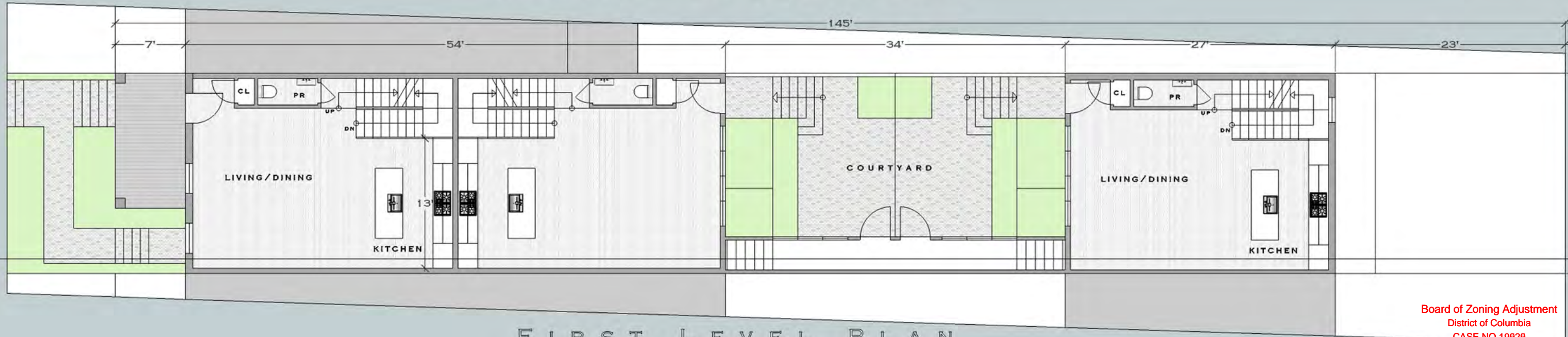
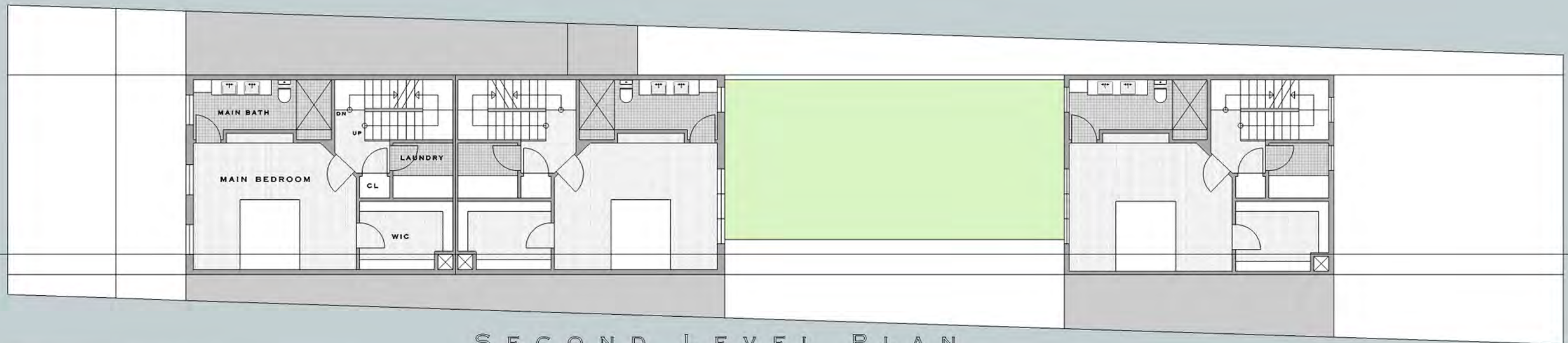


CELLAR LEVEL PLAN

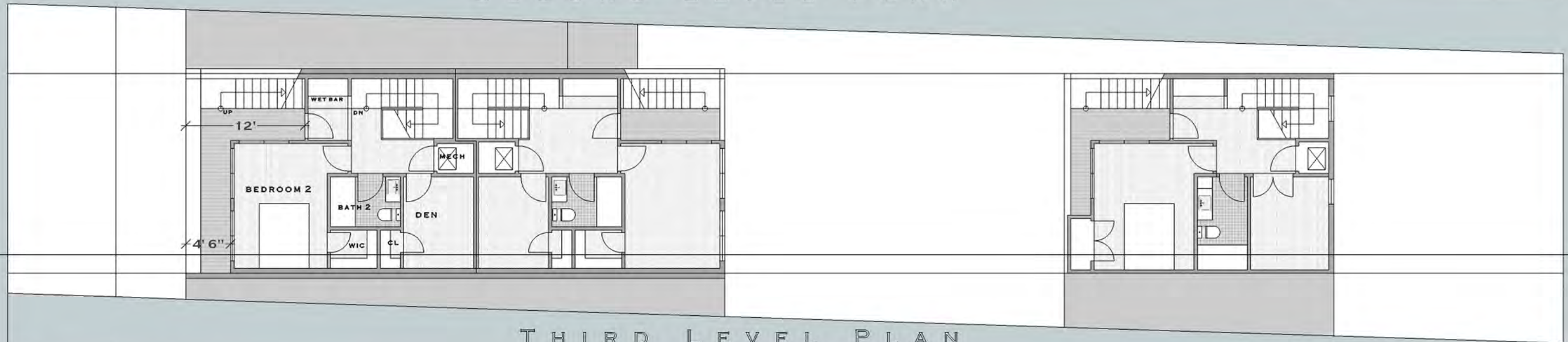


FIRST LEVEL PLAN
431 QUINCY

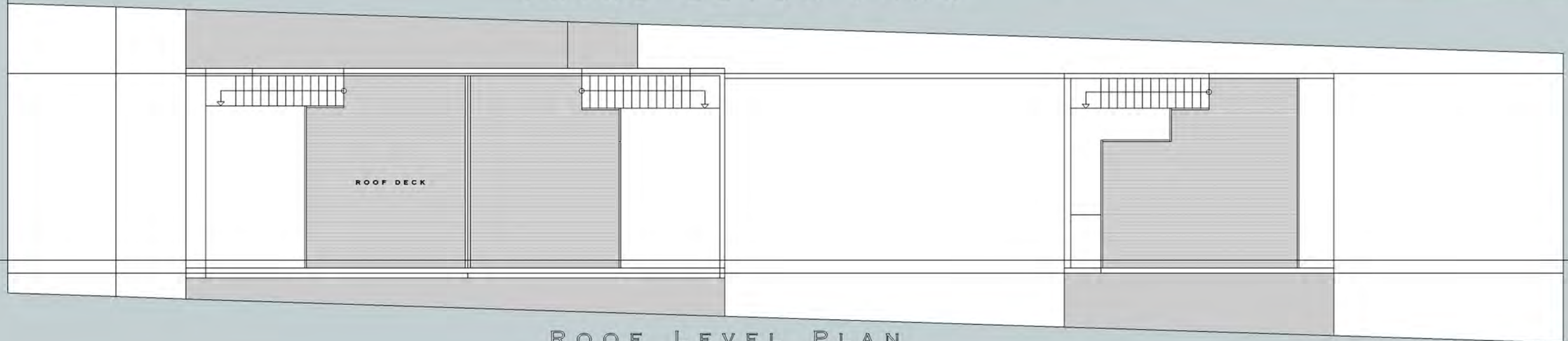
Board of Zoning Adjustment
District of Columbia
CASE NO.19929
EXHIBIT NO.88



SECOND LEVEL PLAN



THIRD LEVEL PLAN



ROOF LEVEL PLAN

431 QUINCY



QUINCY STREET OVERALL SITE PLAN

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**PROPOSAL FOR 429 & 431 QUINCY STREET NW
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PLANTED TRELLIS
ON GREEN WALL

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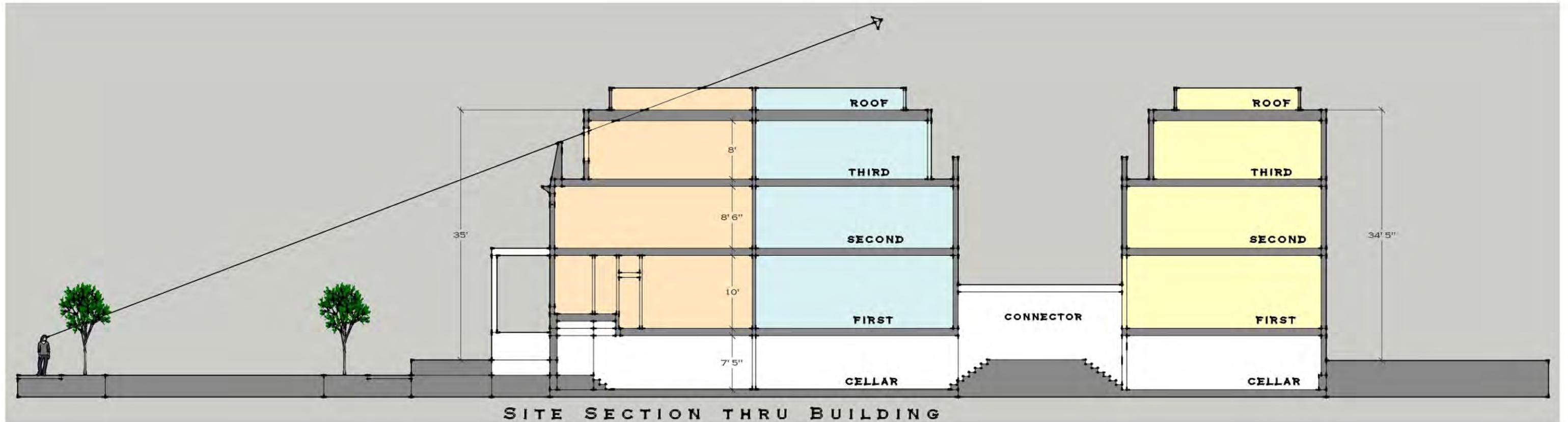


REAR VIEW

PROPOSAL FOR 429 & 431 QUINCY STREET NW
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FOUNDATION NOTES

- ALL CONCRETE SHALL BE 3,000 PSI (AT 28 DAYS) AIR ENTRAINED, U.N.O. (REF. DETAIL B/FND FOR WALL REINFORCEMENT SCHEDULE, TYP.)
- CMU SHALL BE FILLED WITH 3,000 PSI GROUT WHERE INDICATED ON PLANS, MORTAR SHALL BE TYPE "S" FOR ALL BELOW GRADE APPLICATIONS.
- BACKFILL WALLS IN EQUAL LIFTS, DO NOT BACKFILL WALLS UNTIL BASEMENT SLAB IS POURED AND 1ST FLOOR DECK IS INSTALLED AND FULLY SHEATHED.
- WATERPROOFING AND DRAINAGE SYSTEM SHALL BE PROVIDED AS INDICATED AND DRAINAGE SHALL TERMINATE AT A SUITABLE SUMP OR DAYLIGHT CONDITION AS REQUIRED PER CODE.
- DO NOT CUT DRILL OR NOTCH FOUNDATION WALLS WITHOUT APPROVED DETAILS FROM THE ENGINEER OF RECORD.
- FOUNDATION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SLOPE CUTS AND SOIL STABILIZATION IN ACCORDANCE WITH COUNTY REQUIREMENTS

FRAMING NOTES

- FOLLOW MANUFACTURERS INSTRUCTIONS FOR CUTTING HOLES IN ANY 1- JOIST, LVL OR PSL PRODUCTS. DO NOT CUT HOLES OR NOTCH WITHOUT PROPER SIZING AND PLACEMENT.
- ALL MULTI-PLY MEMBERS SHALL BE ATTACHED WITH 3-ROWS OF 16D NAILS AT 12" O/C (NAILED FROM BOTH SIDES OF BEAM ASSEMBLY FULL LENGTH)(ADD FILLER BETWEEN DOUBLE 1- JOISTS PER MANUF. SPECS.)
- ALL HEADERS SHALL BE HEM FIR #2 & ALL STUDS SPF #2 U.N.O.
- ALL LUMBER EXPOSED TO ELEMENTS OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED (ACQ) SYP #2 OR EQUIVALENT TREATMENT APPROVED FOR GROUND CONTACT
- USE ONLY APPROVED NON-CORROSIVE FASTENERS AND HARDWARE FOR ALL ATTACHMENTS IN PRESSURE TREATED LUMBER.
- FOLLOW ALL MANUFACTURERS RECOMMENDATIONS FOR INSTALLED HARDWARE (FILL ALL NAIL HOLES IN STRAPS AND HANGERS)
- PROVIDE CRUSH BLOCKS UNDER ALL POSTS ABOVE (OF EQUAL WIDTH AND MATERIAL AS POST)
- ALL INTERIOR 2X BEARING WALLS @ 16" O.C. (U.N.O.)
- ALL EXTERIOR 2X4 WALLS @ 16" O.C. (U.N.O.)
- ALL EXTERIOR 2X6 WALLS @ 24" O.C. (U.N.O.)

WINDBRACING SCHEDULE

90 MPH (3-Second Gust) - Braced Wall Schedule				
BRACED WALL SCHEDULE - SEE ARCHITECTURAL COVERSHEET FOR CODE REFERENCE				
MARK	TYPE	LENGTH	DESCRIPTION	DETAIL
CS-WSP	PREScriptive BRACED WALL (CS-WSP)	LENGTH PER PLAN (EITHER SIDE OF WALL)	7/16" OSB SHEATHING ATTACHED TO STUDS (BLOCKED) WITH 0.131"x2-3/8" NAILS @ 6" O/C INTO 2X4 SPF#2 FRAMING MEMBERS AT ALL BOUNDARY EDGES.	-
WSP	PREScriptive BRACED WALL (WSP)	LENGTH PER PLAN (EITHER SIDE OF WALL)	7/16" OSB SHEATHING ATTACHED TO STUDS (BLOCKED) WITH 0.131"x2-3/8" NAILS @ 6" O/C INTO 2X4 SPF#2 FRAMING MEMBERS AT ALL BOUNDARY EDGES.	-
GB	PREScriptive BRACED WALL (GB)	LENGTH PER PLAN (DOUBLE SIDED = ACTUAL LENGTH, SINGLE SIDED = .5 x ACTUAL)	1/2" GYPSUM WALL SHEATHING ATTACHED TO STUDS (BLOCKED) WITH DRYWALL SCREWS (#6x1 1/2" TYPE "S") @ 7" O/C AT EDGES, 12" O/C AT INTERMEDIATE SUPPORTS INTO 2X4 SPF#2 FRAMING MEMBERS.	-
LIB	PREScriptive LET-IN-BRACE (LIB)	LOCATION PER PLAN (EITHER SIDE OF WALL)	SIMPSON TMB/WB/ECWB DIAGONAL BRACES LET IN TO THE TOP & BOTTOM PLATES AND STUDS. LET IN BRACING SHALL BE PLACED AT AN ANGLE NOT MORE THAN 60° OR LESS THAN 45° FROM HORIZ. USE 2-16D NAILS TO PLATES & 2-8D NAILS TO STUDS.	2-WB.01
CS-PF	WOOD PORTAL FRAME (CS-PF)	6:1 HEIGHT TO WIDTH RATIO	PORTAL FRAME OR PORTAL TRUSS	4-WB.01 A/B-WB.02

- ALL BRACED WALLS AND SHEAR WALLS ASSUME A CONTINUOUSLY SHEATHED STRUCTURE IN ACCORDANCE WITH IRC SECTION 602.10.5
- ALL VALUES SHOWN HAVE BEEN REDUCED TO REFLECT A S.G. = 0.43 FOR STUD FRAMING
- ALL HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS
- REFERENCE ATTACHED DETAILS FOR PORTAL WALL FRAMING
- FIELD NAILING SHALL BE AT 12" O/C, U.N.O.
- BLOCK ALL EDGES AT BRACED WALL PANELS ONLY

HANGER SCHEDULE

ALL HANGERS SHALL BE AS SPECIFIED BY TRUSS OR JOIST MFG., U.N.O. (ALL HARDWARE SHALL BE AS MANUFACTURED BY SIMPSON STRONG TIE)

DESCRIPTION OF WORK/SITE INFORMATION

RENOVATION OF SINGLE TOWNHOME TO A 2-UNIT SEPARATE TOWNHOUSE

FRONT ELEVATION

PAR006 ROOF ACCESS MODIFICATION 07/24/18



BUILDING CODE SUMMARY

1125 7TH ST NE

Name of Project: 1125 7TH ST NE
Address: 1125 7TH ST NE, WASHINGTON, DC 20002
Proposed Use: RENOVATION OF SINGLE TOWNHOME TO A 2-UNIT SEPARATE TOWNHOUSE
Owner: STONY CREEK HOMES
Authorized Agent: TARQUE JAMES
Owned By: [] City/County [] Private [] State

LEAD DESIGN PROFESSIONAL: MSEG, LLC
DESIGNER: MSEG, LLC
ARCHITECTURE: MSEG, LLC
Civil: []
Electrical: FISHER
Fire Alarm: []
Mechanical: []
Structural: MSEG, LLC
Painting: []
Landscape: []

2012 ICC EXISTING BUILDING CODE
2012 ICC FUEL GAS CODE
2011 NATIONAL ELECTRICAL CODE
2012 ICC RESIDENTIAL CODE
2012 ICC BUILDING CODE
2012 ICC MECHANICAL CODE
2012 ICC PLUMBING CODE
2012 ICC ENERGY CONSERVATION CODE
2012 ICC FIRE CODE
2012 ICC GREEN CONSTRUCTION CODE
DCM 12 DC CONSTRUCTION CODE SUPPLEMENT 2013
DCM TITLE 11 - ZONING REGULATIONS
DC LAW 8-36 DISTRICT OF COLUMBIA ENVIRONMENTAL POLICY ACT OF 1989
[] New Construction [] Renovation (Existing Bldg) [] Alteration

Construction Type: [] I-A [] I-B [] II-A [] II-B [] III [] IV [] V-A [] V-B
Mixed Construction: [] NO [] YES TYPES []
Sprinklers: [] NO [] YES [] NFPA 13 [] NFPA 13R [] NFPA 13D [] CLASS I [] CLASS II [] CLASS III [] WET [] DRY

Fire District: [] NO [] YES
Building Height: SEE ELEVATIONS
Number of Stories: 3 STORIES WITH CELLAR

Mezzanine: [] NO [] YES
High rise: [] NO [] YES

SITE DATA
ZONING: RF-1 RESIDENTIAL OLD CITY 1 NEIGHBORHOOD L SQUARE 0096 LOT 0035
SITE AREA: 2,535.8 SQUARE FEET
LOT COVERAGE: 0.0729
BUILDING HEIGHT: MAXIMUM ALLOWABLE = 60' + 2,231.6 SF = 1388.96 SF LOT COVERAGE = 1397 SF
MAXIMUM ALLOWABLE = 35 FEET
MAXIMUM STORES = 3

SEPARATIONS:
FRONT: []
SIDE: []
REAR: 2' MIN.

Gross Building Area:	NEW UNIT (50 SF)	NEW UNIT (250 SF)
CELLAR FLOOR	516 SF	515 SF
FIRST FLOOR	677 SF	650 SF
SECOND FLOOR	677 SF	650 SF
THIRD FLOOR	677 SF	650 SF
TOTALS	2,547 SF	2,465 SF

REVISION LOG

Revision Date:	Revision Date:	Revision Date:	Revision Date:
PAR001 03/30/17 RESPONSE TO DCRA STRUCTURAL REVIEW COMMENTS	PAR003 02/06/18 FLIPPED FRONT UNIT, RAISED BREEZEWAY TO BE FULLY ABOVE GROUND, CHANGED FRONT ELEVATION TO BRICK	PAR005 06/05/18 CHANGES TO PERMIT B1706219 AND B1805207 FOR NEW BUILDING CONDITIONS AT 1127 7TH ST NE AND HATCH CHANGE	PAR006 07/24/18 CHANGES TO PERMIT B1706219 AND B1805207 FOR NEW SIDING ROOF TOP HATCH ACCESS
PAR002 04/04/17 RESPONSE TO CENTURY ASSOCIATES REVIEW COMMENTS	PAR004 04/16/18 RESPONSE TO DCRA ELECTRICAL & ZONING COMMENTS		

ABBREVIATIONS

A.B. ANCHOR BOLT	CONT. CONTINUOUS	ELEV. ELEVATION	HGT. HEIGHT	MTL. METAL	REF. REFER TO REFERENCE	TYP. TYPICAL
A.F.F. ABOVE FINISH FLOOR	CONST. CONSTRUCTION	EQ. EQUAL	HORZ. HORIZONTAL	N.I.C. NOT IN CONTRACT	REIN. REINFORCING/REINFORCE	T. TREAD
ADJ. ADJACENT/ADJUSTABLE	CTSK. COUNTERSUNK	EQUIP. EQUIPMENT	HR. HOUR	NOT TO SCALE	R.M.D. REINFORCING MESH	TR. TONEL ROD
A.F.T. ABOVE FINISH TREAD	C.O. CASED OPENING	EXP. EXPANSION	HDR. HEADER	O.C. ON CENTER	ROOMS ROOMS	TRPL. TRIPLE
ALUM. ALUMINUM	CANT. CANTILEVER	EXT. EXTERIOR	HB HOSE BIB	OPER. OPERATOR	RNG. RANGE	UN.O. UNLESS NOTED OTHERWISE
ANCH. ANCHOR	C.T. CERAMIC TILE	E.E. EACH END	I.D. INSIDE DIAMETER	OPNG. OPERATING	R.O. ROUGH OPENING	VERT. VERTICAL
ANGLE ANGLE	C.L.G. CEILING	F/C FLOOR COVERING CHANGE	INGR. IN GROUND	OPT. OPTIONAL	R. RISER	VERIFY IN FIELD
ARCH. ARCHITECTURAL	C.M. CROWN MOULD	F.D. FLOOR DRAIN	INSUL. INSULATION	O.S.B. ORIENTED STRAND BOARD	RND. ROUND	W. WASHER
@ AT	C.R. CHAIR RAIL	FDN. FOUNDATION	INT. INTERIOR	OZ. OUNCE	S.C. SAWCUT	W/ WITH
BD. BOARD	D DRYER	FLR. FLOOR	I.S. INSIDE CORNER	1/R ONE ROD	SCHEM. SCHEMATIC	WD. WOOD
BLDG. BUILDING	d PENNY	F.P. FIRE PLACE	JS. JOINT	1/S ONE SHELF	SHLF SHELF	W.W.F. WELDED WIRE FABRIC
BM BEAM	DBL. DOUBLE	F.R. FIRE RATED	KSI KIPS PER SQUARE INCH	PC PRECAST	SHT. SHEET	WO OR W/O WALKOUT
BTM BOTTOM	DIA. DIAMETER	FRM FRAME	LT. WT. LIGHTWEIGHT	PBD. PARTICLE BOARD	SIM. SIMILAR	WNDW WINDOW
BLKG. BLOCKING	DN DOWN	FT. FOOT / FEET	L.T. LIGHT	PL. PLATE	S.S. STAINLESS STEEL	
BRG. BEARING	DR. DOOR	FTG. FOOTING	LVR. LOUVER	PNL. PANEL	STL. STEEL	
BRK. BRICK	DW DISH WASHER	GA. GAUGE	L.T. LAUNDRY TUB	PWD. PLYWOOD	STRUCT. STRUCTURAL	
BSMT. BASEMENT	DWG. DRAWING	GALV. GALVANIZED	MAS. MASONRY	PF. PREFABRICATED	SUSP. SUSPENSION	
C.J. CONTROL JOINT	D.S. DOWN SPOUT	G.C. GENERAL CONTRACTOR	MAT. MATERIAL	PR. PAIR	SGD. SLIDING GLASS DOOR	
CL. CENTER LINE	DTL. DETAIL	GEN. GENERAL	MAX. MAXIMUM	PROJ. PROJECT / PROJECTED	SQ. SQUARE	
C.M.U. CONCRETE MASONRY UNIT	E.A. EACH	GEN. GENERAL	MDO. MEDIUM DENSITY OVERLAY	PSI POUNDS PER SQ. IN.	TB TOWEL BAR	
COL. COLUMN	E.J. EXPANSION JOINT	G.L. GLUE LAM	MCH. MECHANICAL	PSF POUNDS PER SQ.F.	T & G TONGUE AND GROVE	
CONC. CONCRETE	E.L. ELECTRICAL	HDWR. HARDWARE	MIN. MINIMUM	P.T. PRESSURE TREATED	T.O.S. TOP OF SLAB	
COND. CONDITION		HD.WD. HARDWOOD	M.O. MASONRY OPENING	QUAD. QUADRUPLE	TFW TOP OF FOUNDATION WALL	

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STRUCTURAL CERTIFICATION

"STRUCTURAL PLANS CERTIFIED AS PROVIDED IN SECTION 106.1.4.1 OF THE DC CONSTRUCTION CODES SUPPLEMENT AS AMENDED TO DATE"

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STRUCTURAL DESIGN DATA

BUILDING LOADS SOIL BEARING PRESSURE: ALLOWABLE = 2500 PSF (REF. SOIL CERTIFICATION)	EQUIVALENT FLUID PRESSURE: BASEMENT WALLS = 60 PCF* *USE ONLY GRAVEL OR CLEAN FILL IN ACCORDANCE WITH RC SOIL CLASSIFICATIONS (CM, GC, SM, SM-SC OR ML)
FLOOR LOADS: (OPEN WEB TRUSSES) TYPICAL LIVE LOAD = 40 PSF (TOP CHORD) SLEEPING AREAS LL = 30 PSF (TOP CHORD) T.C. DEAD LOAD = 10 PSF (ALL FLOORS + ROOF DECK AREAS) B.C. DEAD LOAD = 5 PSF (ALL FLOORS + ROOF DECK AREAS) BALCONIES = 60 PSF LIVE LOAD (TYPICAL) COMMON STAIR AND CORRIDORS = 100 PSF LIVE LOAD	DEFLECTION LIMITS: - BEAM SUPPORTING ROOF ONLY: LIVE LOAD=L/360, TOTAL LOAD=L/240 - BEAM SUPPORTING FLOOR LOADS: LIVE LOAD=L/480, W/MAX. DEFLECTION OF 1/2" TOTAL LOAD=L/240 - JOIST SUPPORTING FLOOR LOADS: LIVE LOAD=L/480, W/MAX. DEFLECTION OF 1/2" TOTAL LOAD=L/240 - BEAM SUPPORTING MASONRY: LIVE LOAD + MASONRY=1/600, W/MAX. DEFLECTION OF 0.3"
ROOF LOADS: (OPEN WEB TRUSSES) SNOW LOAD = 30 PSF (ROOF) T.C. DEAD LOAD = 10 PSF (ALL NON ROOF DECK AREAS) B.C. DEAD LOAD = 10 PSF (ALL NON ROOF DECK AREAS)	WIND AND DOOR PERFORMANCE WIND LOAD IMPORTANCE FACTOR = 1.0 WIND EXPOSURE = B COMPONENTS CLADDING: 90 MPH OR LESS (3 SEC. GUST): MAX. VALUE AT ROOF WILL BE (+18.2, -23.2) MAX. VALUE AT WALL WILL BE (+19.8, -26.6) WALL BRACING: STRUCTURAL SHEATHING ON ALL EXTERIOR WALLS (PREScriptive METHOD CS-WSP, U.N.O.) BUILDING LEAKAGE TEST: AIR LEAKAGE RATE NOT TO EXCEED 5 AIR CHANGES PER HOUR ACH50 ≤ 5.0

BUILDING SQUARE FOOTAGE

FINISHED SQUARE FEET:	UNIT #1 - CELLAR = 516 S.F.	UNIT #2 - CELLAR = 515 S.F.
	UNIT #1 - 1ST FLOOR = 677 S.F.	UNIT #2 - 1ST FLOOR = 650 S.F.
	UNIT #1 - 2ND FLOOR = 677 S.F.	UNIT #2 - 2ND FLOOR = 650 S.F.
	UNIT #1 - 3RD FLOOR = 677 S.F.	UNIT #2 - 3RD FLOOR = 650 S.F.
	UNIT #1 - TOTAL = 2,547 S.F.	UNIT #2 - TOTAL = 2,465 S.F.

BUILDING ADDRESS

PROPERTY ADDRESS:
STONY CREEK HOMES
1125 7TH ST NE
WASHINGTON, DC 20002

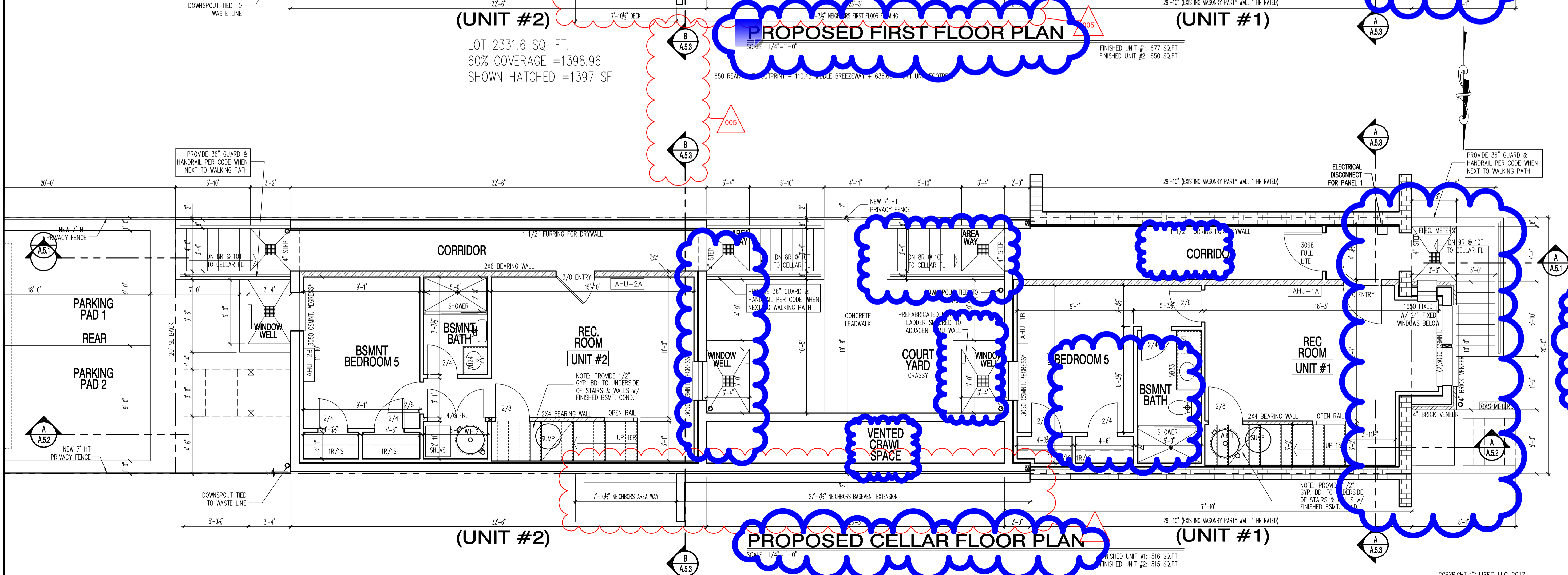
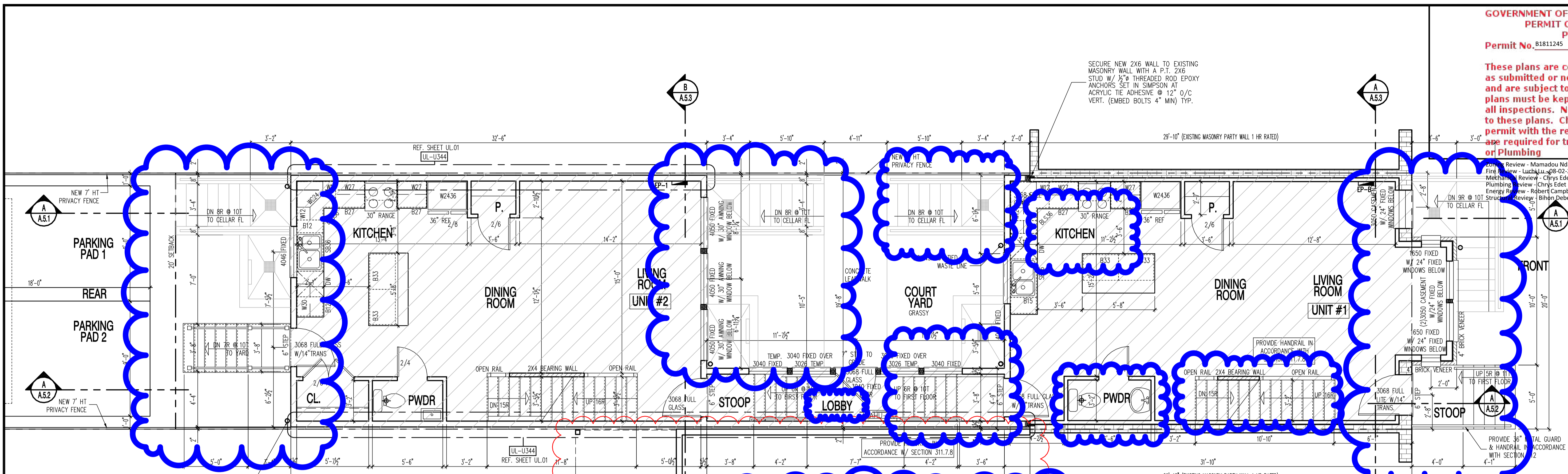
GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. B1811245
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are required for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. All permits are required for trade work. Moment Structural Engineering + Design
10530 WARWICK AVENUE, SUITE #105
FAIRFAX, VA 22030
Phone: 703-988-2550 • Email: info@moment.com
Website: www.moment.com
DC • VIRGINIA

1125 7th St NE - STONY CREEK HOMES
GENERAL NOTES
22x34 Plotted at 1/4" = 1'-0" - 11x17 Plotted at 1/8" = 1'-0"

DISTRICT OF COLUMBIA
REGISTERED ARCHITECT
3-17
DRAWN BY:
MCR
DATE: 03/10/17
REV No. DATE
006 07/24/18
01.01.17
SHEET No.
CS.01
Board of Zoning Adjustment
District of Columbia
CASE NO. 19650
EXHIBIT NO. 99A

Permit No. 81811245
 These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are required for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Permits are required for trade work such as Electrical or Plumbing

DC VIRGINIA ARCHITECT
 10530 WARWICK AVENUE, SUITE #505
 FAIRFAX, VA 22033
 Phone: 703.988.2350 • Email: info@msgllc.com
 Website: www.msgllc.com



1125 7th St NE - STONY CREEK HOMES
 PROPOSED CELLAR & FIRST FLOOR PLAN



DESIGNED BY:
 MCR
 DATE: 03/10/17
 REV No. DATE
 005 06/05/18

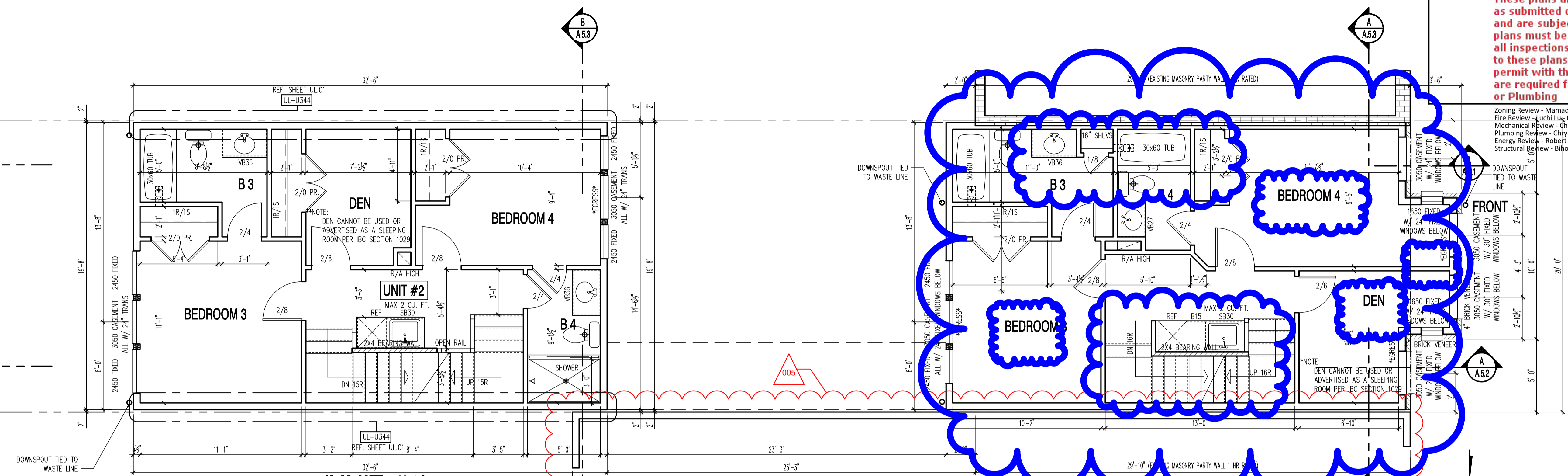
01.01.17

SHEET No.
 A1.1

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are subject to all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Permits are required for trade work.

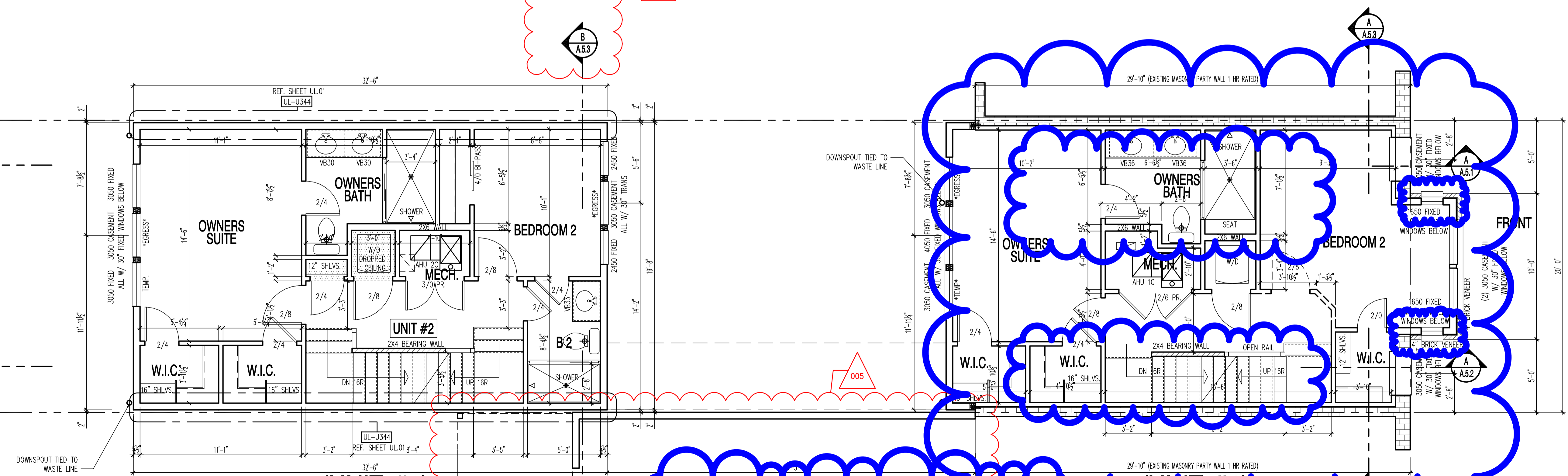
Zoning Review - Mamadou Ndoye - 08-02-2018
 Fire Review - Luchina - 08-02-2018
 Mechanical Review - Chrys Edet - 08-02-2018
 Plumbing Review - Chrys Edet - 08-02-2018
 Energy Review - Robert Campbell - 08-02-2018
 Structural Review - Bilion Debesai - 08-02-2018

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 Website: www.msgllc.com



PROPOSED THIRD FLOOR PLAN
 SCALE: 1/4"=1'-0"

FINISHED UNIT #1: 677 SQ.FT.
 FINISHED UNIT #2: 650 SQ.FT.



PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"

FINISHED UNIT #1: 677 SQ.FT.
 FINISHED UNIT #2: 650 SQ.FT.

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"

1125 7th St NE - STONY CREEK HOMES
 PROPOSED SECOND & THIRD FLOOR PLAN



DRAWN BY:
 MCR
 DATE: 03/10/17
 REV No. DATE
 005 06/05/18

01.01.17

SHEET No.
 A2.1

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Permits are required for trade work, electrical or Plumbing

Zoning Review - Mamadou Ndiaw - 08-02-2018
 Fire Review - Luchi Lu - 08-02-2018
 Mechanical Review - Chrys Edet - 08-02-2018
 Plumbing Review - Chrys Edet - 08-02-2018
 Energy Review - Robert Campbell - 08-02-2018
 Structural Review - Bihon Debesai - 08-02-2018

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 10530 WARWICK AVENUE, SUITE #250
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 Website: www.msegllc.com

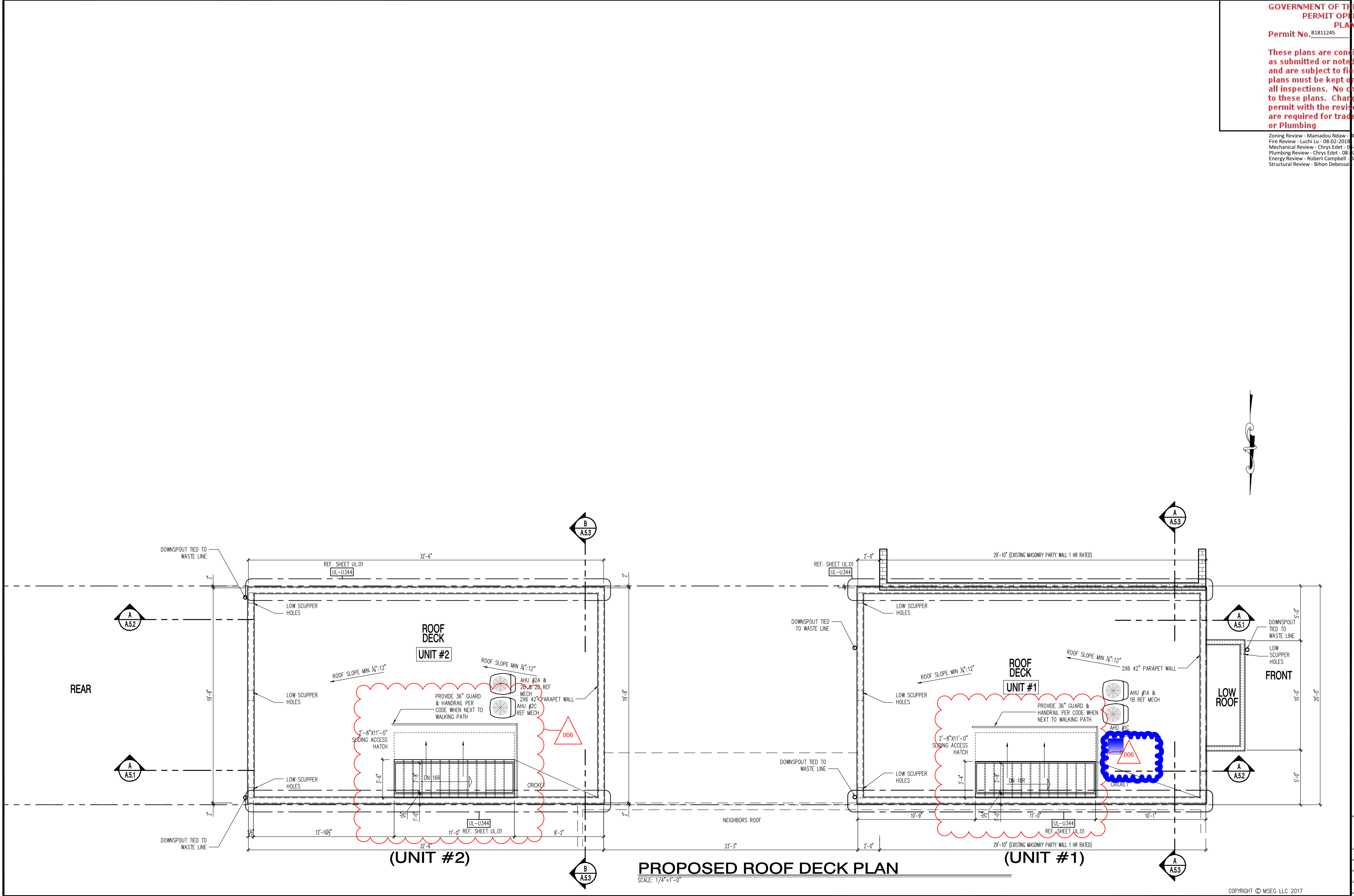
1125 7th St NE - STONY CREEK HOMES
 PROPOSED ROOF PLAN
 22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"



DRAWN BY:
 MCR
 DATE: 03/10/17
 REV No. DATE
 006 07/24/18

01.01.17

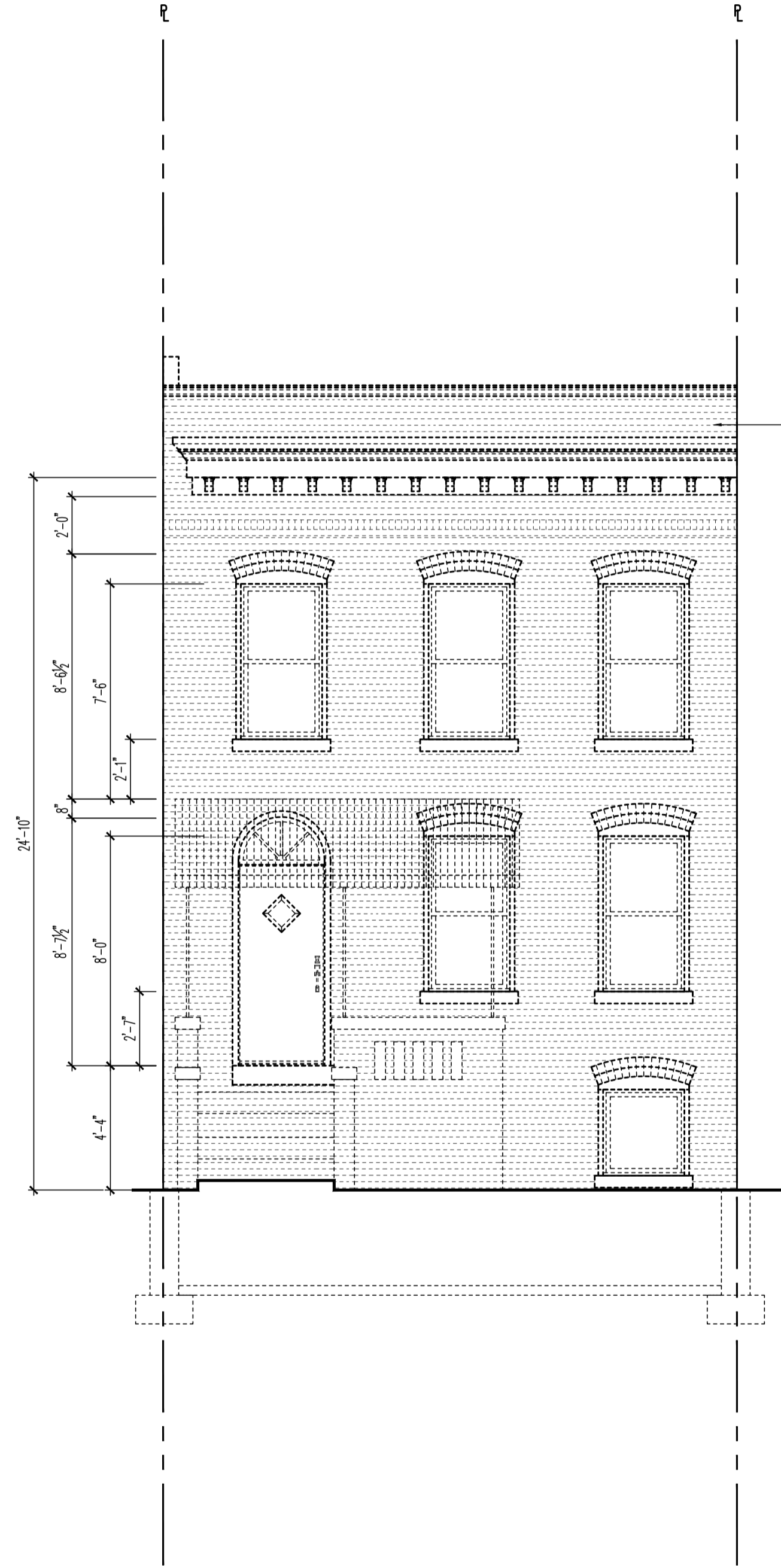
SHEET No.
 A3.1



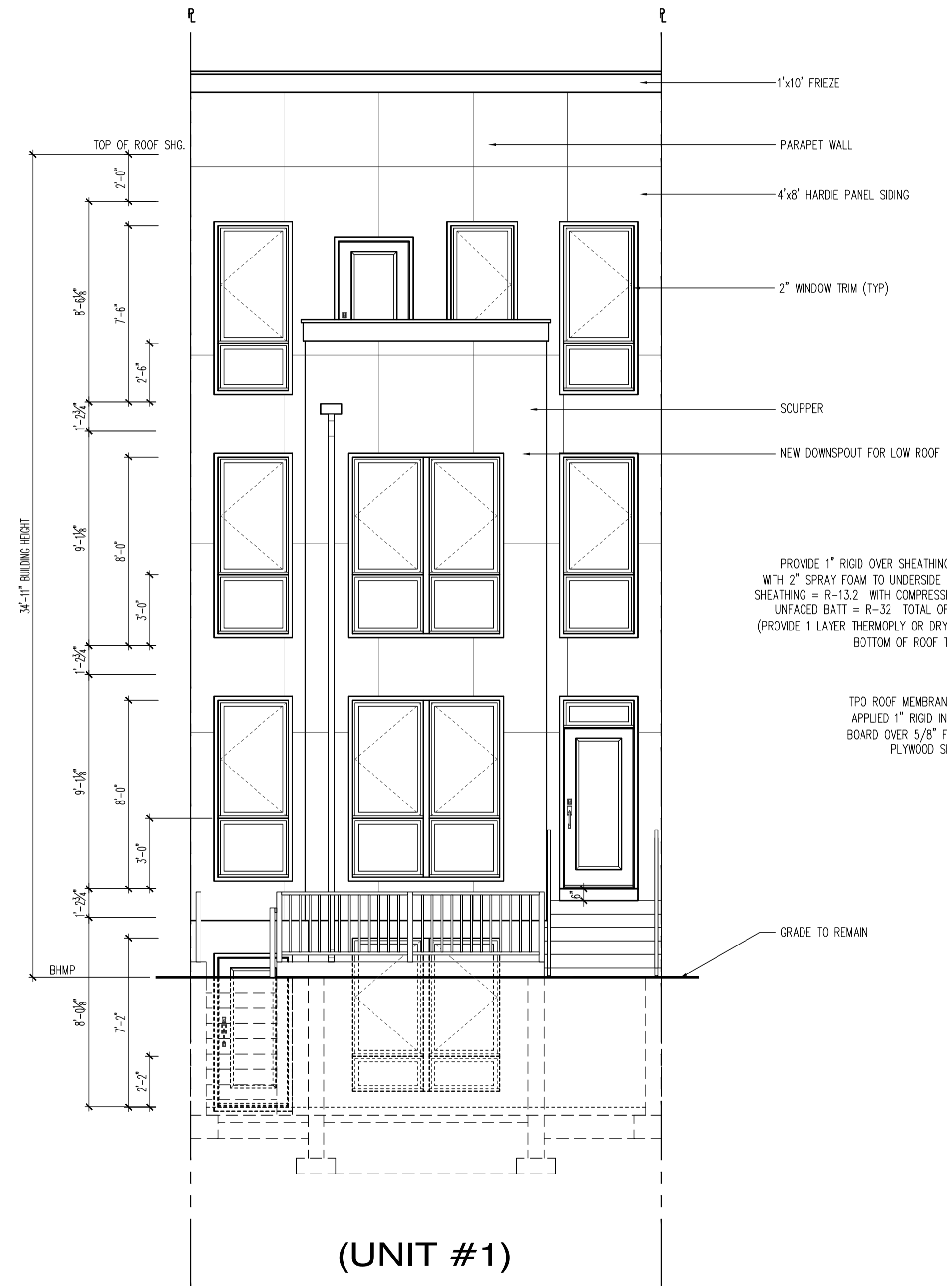
PROPOSED ROOF DECK PLAN
 SCALE: 1/4"=1'-0"

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No change or modifications to these plans. Changes require a new permit with the revised plans. Permits are required for trade work electrical or Plumbing

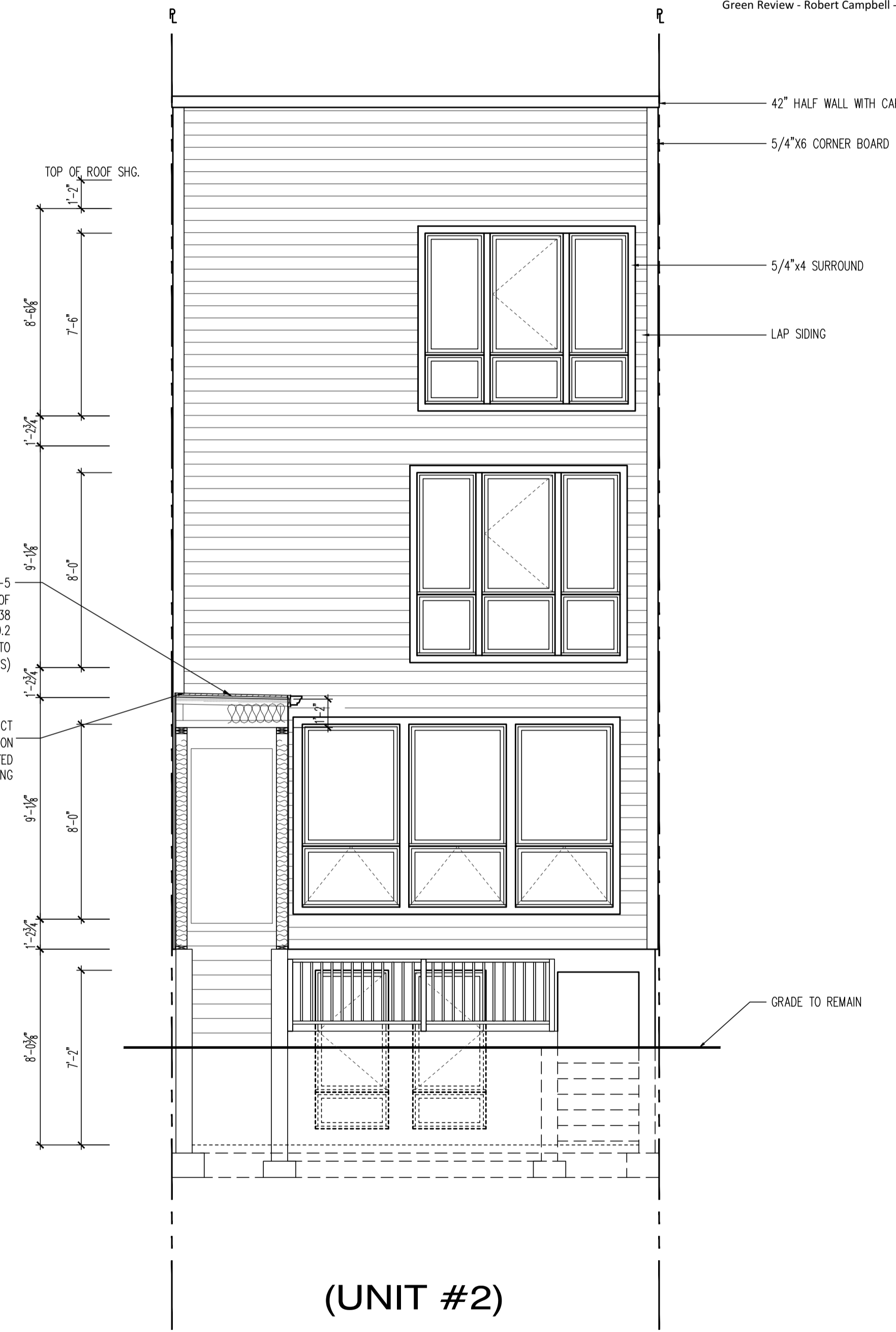
Plumbing Review - Wayne Ferguson - 03-31-2017
 Mechanical Review - Wayne Ferguson - 03-31-2017
 DC Water Review - Vahid Bilvardi - 03-31-2017
 Electrical Review - David Njafu - 03-31-2017
 DOE SE SW Review - Charles Edwards - 03-31-2017
 Structural Review - Wayne Ferguson - 03-31-2017
 Green Review - Robert Campbell - 03-31-2017



EXISTING FRONT ELEVATION
 SCALE: 1/4"=1'-0"



PROPOSED FRONT ELEVATION
 SCALE: 1/4"=1'-0"



PROPOSED FRONT ELEVATION
 SCALE: 1/4"=1'-0"

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8" = 1'-0"
1125 7th St NE - STONY CREEK HOMES
FRONT & REAR ELEVATIONS



DRAWN BY:
 MCR
 DATE: 03/10/17
 REV No. DATE
 XXX XX-XX-XX

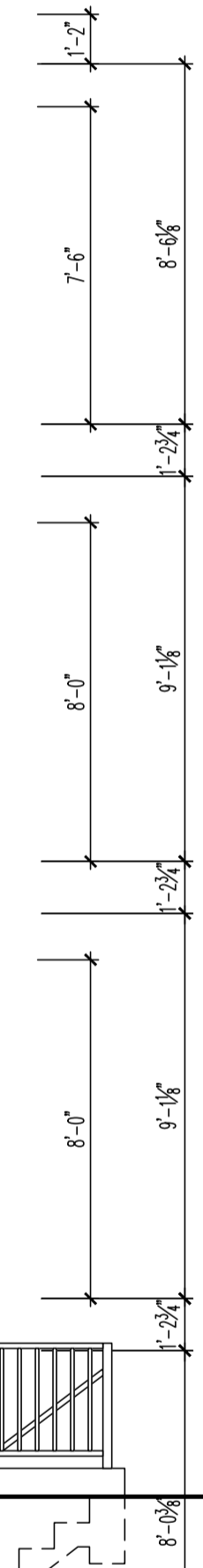
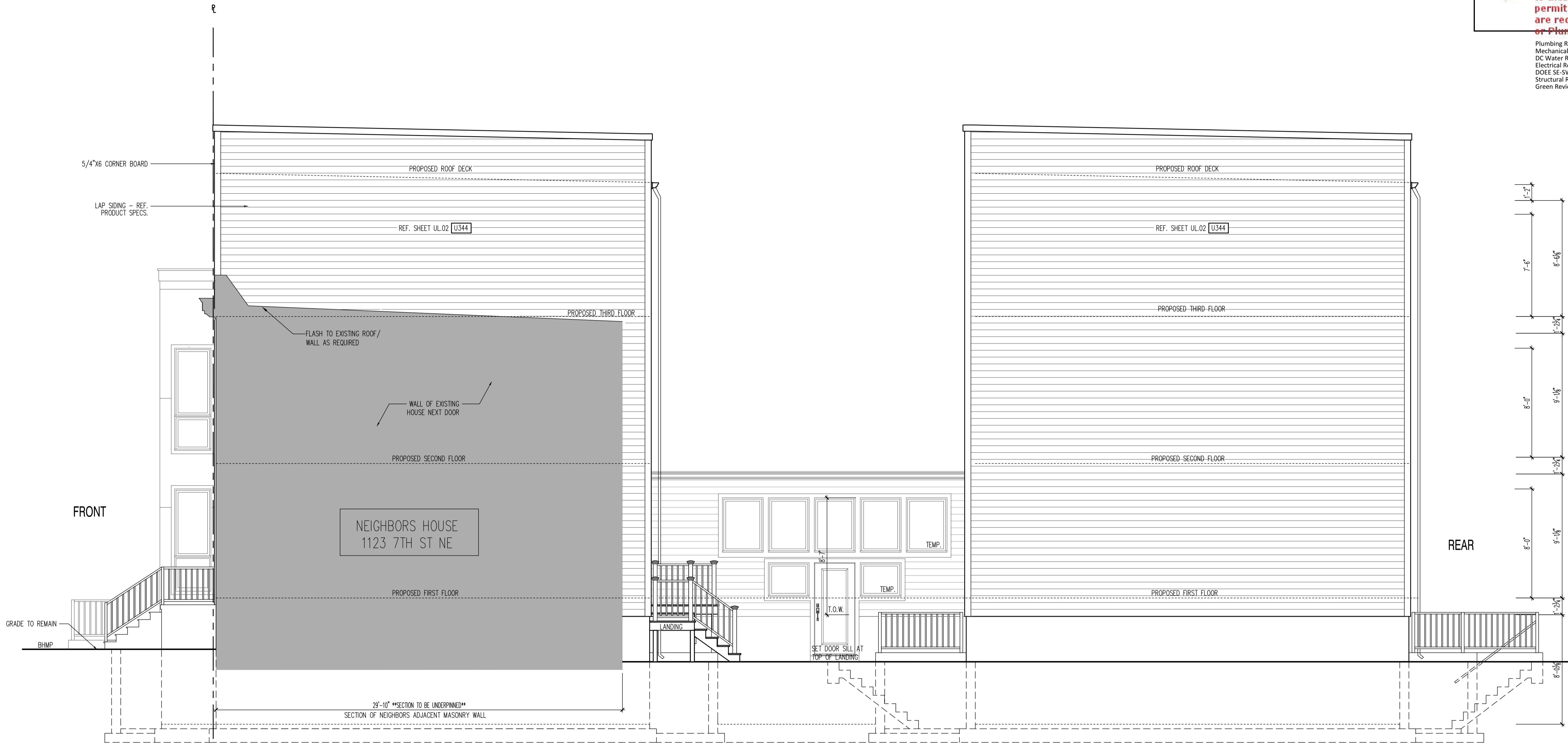
01.01.17

SHEET No.
 A4.1

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 PERMIT OPERATIONS DIVISION
 Plans Approved
 Permit No. 81706219 Date 03/17/17
 www.msegllc.com

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No changes or modifications to these plans. Changes require a permit with the revised plans. Changes are required for trade work electrical or plumbing.

Plumbing Review - Wayne Ferguson - 03-31-2017
 Mechanical Review - Wayne Ferguson - 03-31-2017
 DC Water Review - Vahid Bilvardi - 03-31-2017
 Electrical Review - David Njafuh - 03-31-2017
 DOEE SE-SW Review - Charles Edwards - 03-31-2017
 Structural Review - Wayne Ferguson - 03-31-2017
 Green Review - Robert Campbell - 03-31-2017



RIGHT SIDE ELEVATION
 SCALE: 1/4"=1'-0"

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8" = 1'-0"
 1125 7th St NE - STONY CREEK HOMES
 RIGHT SIDE ELEVATION



DRAWN BY:	
MCR	
DATE: 03/10/17	
REV No.	DATE
XXX	XX-XX-XX

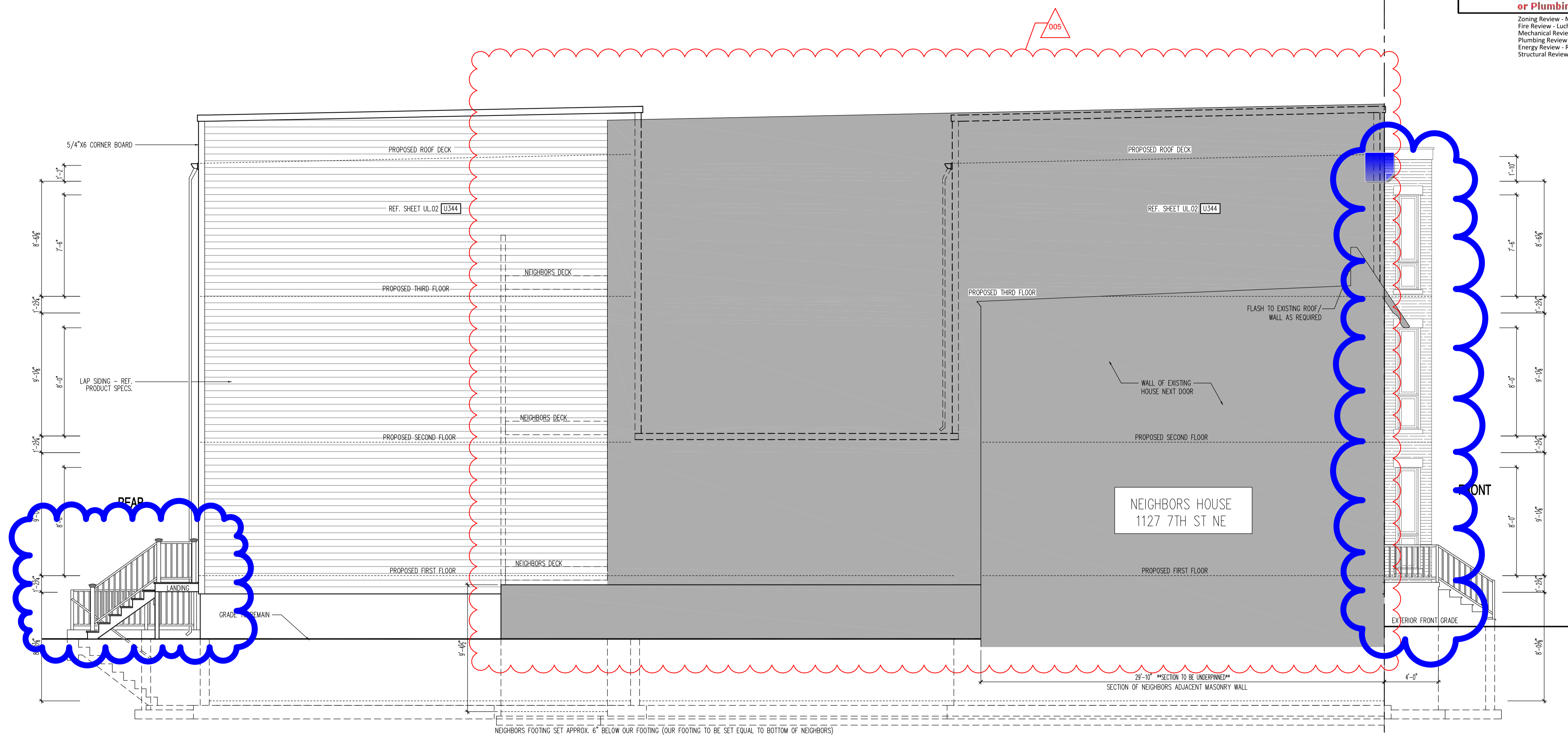
01.01.17

SHEET No.
 A4.2

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are required for all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Electrical or Plumbing

Zoning Review - Mamadou Ndiaw - 08-02-2018
 Fire Review - Luchi Lu - 08-02-2018
 Mechanical Review - Chrys Edet - 08-02-2018
 Plumbing Review - Chrys Edet - 08-02-2018
 Energy Review - Robert Campbell - 08-02-2018
 Structural Review - Bihon Debesai - 08-02-2018

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 FAIRFAX, VA 22036
 Phone: 703.988.2350 • Email: info@msgllc.com
 Website: www.msgeil.com



LEFT SIDE ELEVATION
 SCALE: 1/4"=1'-0"

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"

1125 7th St NE - STONY CREEK HOMES
LEFT SIDE ELEVATION



DRAWN BY:	
MCR	
DATE:	03/10/17
REV No.	DATE
005	06/05/18

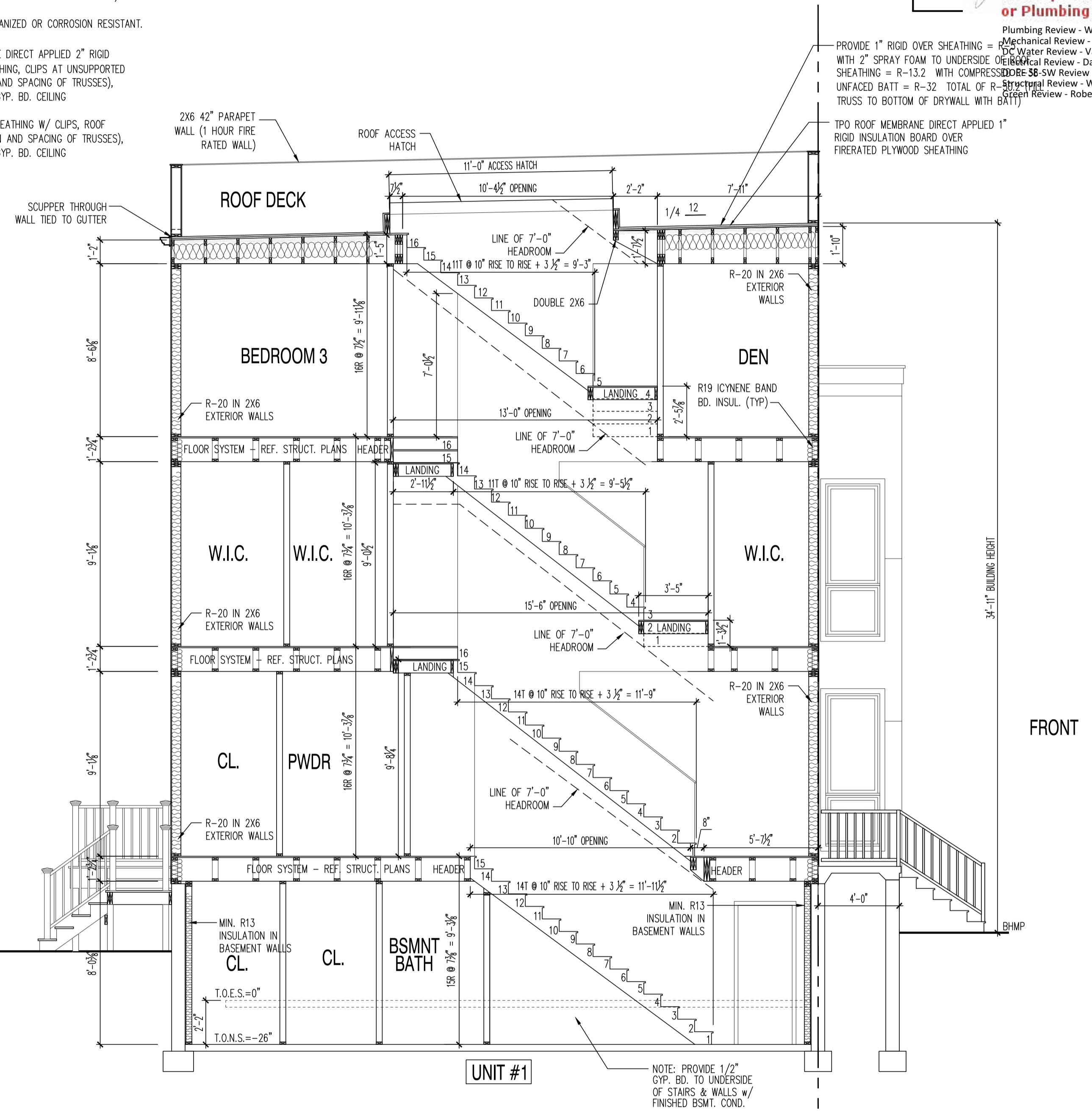
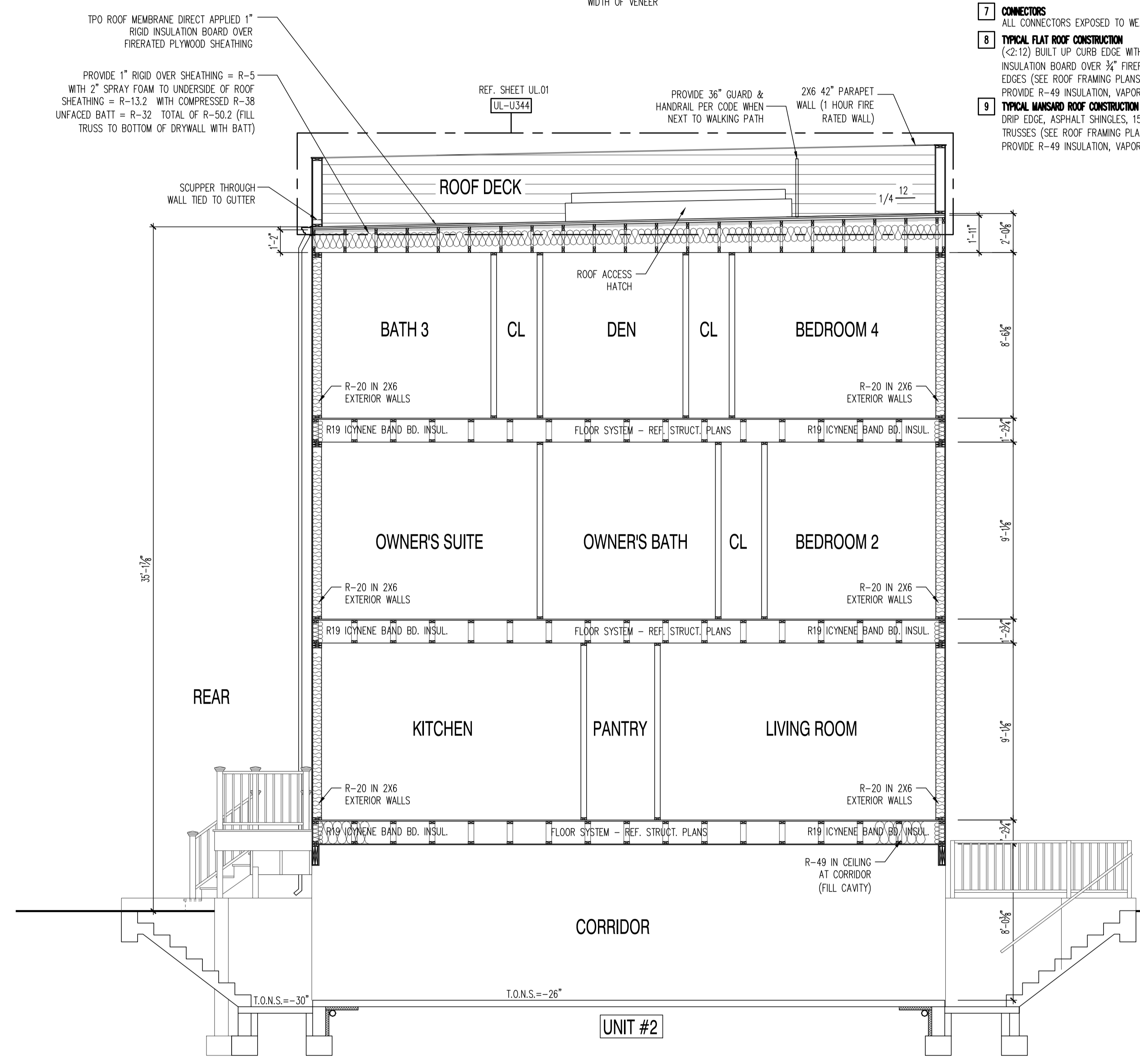
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SHEET No.
A43

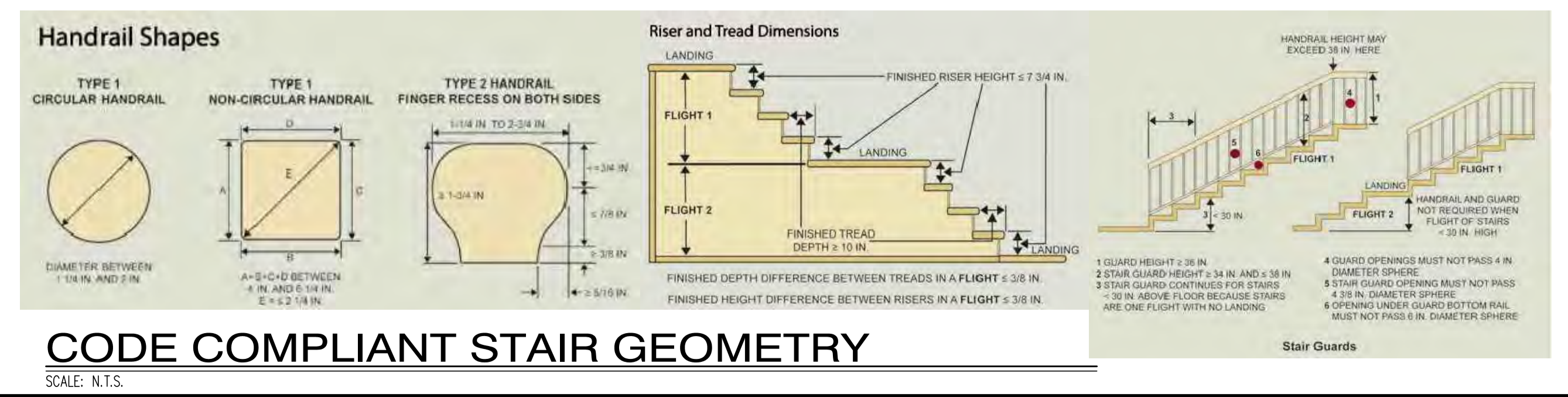
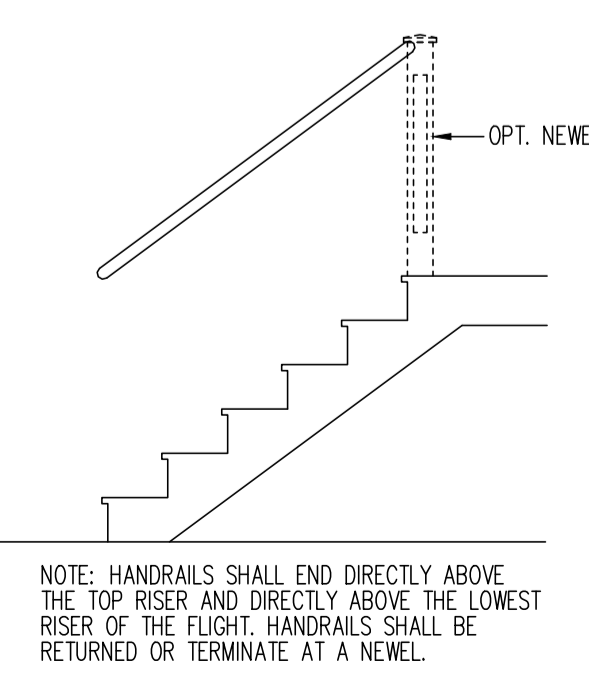
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are needed for all inspections. No change or modifications without the original plans. Changes require a permit with the revised plans. All permits are required for trade work electrical or Plumbing.

TYPICAL CONSTRUCTION

- TYPICAL FOUNDATION WALL CONSTRUCTION**
POURED IN PLACE CONCRETE FOUNDATION WALL ON SPREAD FOOTINGS. REF. FOUNDATION PLAN FOR SIZE AND REINFORCING.
- TYPICAL FLOOR SLAB CONSTRUCTION**
4" STRUCTURAL CONCRETE SLAB WITH W/6x6 WIRE MESH OVER ON 6 MIL POLY VAPOR BARRIER ON 4" WASHED GRANULAR FILL, SET REINFORCING AT CENTERLINE OF SLAB
- TYPICAL EXTERIOR BRICK VENEER WALL CONSTRUCTION**
2 1/2" BRICK VENEER, 1/2" PLYWD. OR OSB SHEATHING OVER 2X4 STUD WALL (OR AS INDICATED), W/ R-15 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BD. PROVIDE WEEP HOLES AT GRADE LINE. PROVIDE 15# FELT OVER EXTERIOR SHEATHING, FULL HEIGHT AND WIDTH OF VENEER
- TYPICAL EXTERIOR FRAME WALL CONSTRUCTION**
CEMENT BOARD SIDING, BUILDING PAPER, 1/2" PLYWD. OR OSB SHEATHING, 2X4 STUD WALL (OR AS INDICATED), W/ R-15 INSULATION (R-20 INSULATION @ 2X6 STUD WALL), VAPOR BARRIER, AND 1/2" GYP. BD. (OR PER UL ASSEMBLY NOTED)
- TYPICAL FLOOR/CEILING CONSTRUCTION**
3/4" NOM. T&G OSB PLYWD SUBFLOOR, GLUED AND SCREWED ON OPEN WEB FLOOR (SEE FRAMING PLAN FOR DEPTH, SPACING AND SERIES) PROVIDE 1/2" GYP. BD. CEILING (OR PER UL ASSEMBLY NOTED)
- TYPICAL INTERIOR AND EXTERIOR BEARING WALLS**
2X4 STUD WALL @ 16" O.C. WITH DOUBLE TOP PLATE (UNLESS SPECIFIED OTHERWISE)
- CONNECTORS**
ALL CONNECTORS EXPOSED TO WEATHER SHALL BE GALVANIZED OR CORROSION RESISTANT.
- TYPICAL FLAT ROOF CONSTRUCTION**
(2:12) BUILT UP CURB EDGE WITH TPO ROOF MEMBRANE DIRECT APPLIED 2" RIGID INSULATION BOARD OVER 3/4" FIRERATED PLYWOOD SHEATHING, CLIPS AT UNSUPPORTED EDGES (SEE ROOF FRAMING PLANS FOR CONFIGURATION AND SPACING OF TRUSSES), PROVIDE R-49 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BD. CEILING
- TYPICAL MANSARD ROOF CONSTRUCTION**
DRIP EDGE, ASPHALT SHINGLES, 15# FELT, 7/16" OSB SHEATHING W/ CLIPS, ROOF TRUSSES (SEE ROOF FRAMING PLANS FOR CONFIGURATION AND SPACING OF TRUSSES), PROVIDE R-49 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BD. CEILING



BUILDING SECTION
 SCALE: 1/4"=1'-0"



1125 7th St NE - STONY CREEK HOMES
 BUILDING SECTION
 22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"



DRAWN BY:
 MCR
 DATE: 03/10/17
 REV No. DATE
 XXX XX-XX-XX

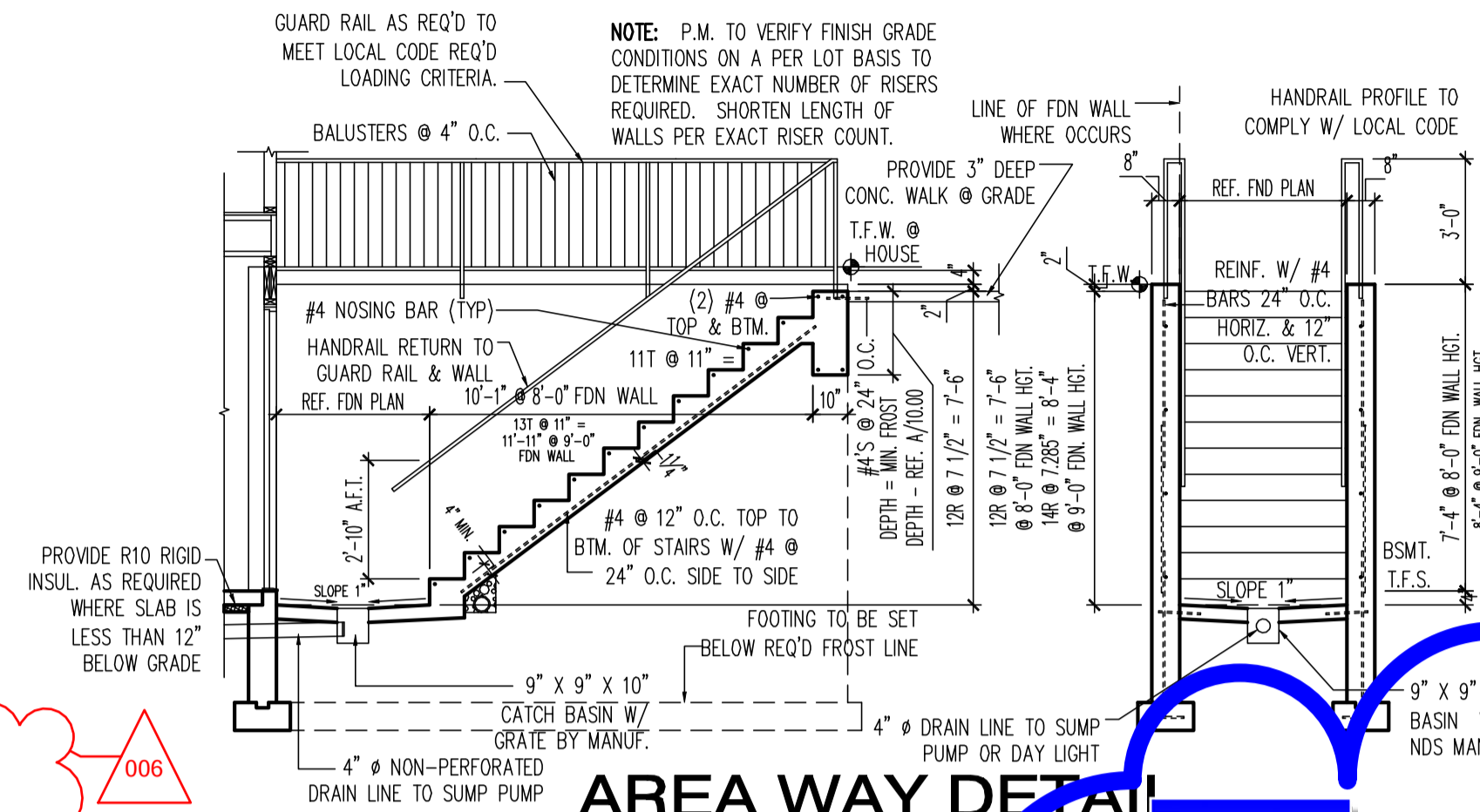
01.01.17

SHEET No.
 A5.1

These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are not to be used for any other project without the approval of the District of Columbia Department of Public Works. No changes or modifications to these plans, including but not limited to, are permitted without the approval of the District of Columbia Department of Public Works. Changes require a revision permit with the revised plans. Engineering or Plumbing

Zoning Review - Mamadou Ndiaye - 08-02-2018
 Fire Review - Luchi Lu - 08-02-2018
 Mechanical Review - Chrys Edet - 08-02-2018
 Plumbing Review - Chrys Edet - 08-02-2018
 Energy Review - Robert Campbell - 08-02-2018
 Structural Review - Bihon Debesai - 08-02-2018

DC VIRGINIA
 10530 WARWICK AVENUE, SUITE #105
 FAIRFAX, VA 22033
 Phone: 703.988.2550 • Email: info@mselc.com
 Website: www.mselc.com

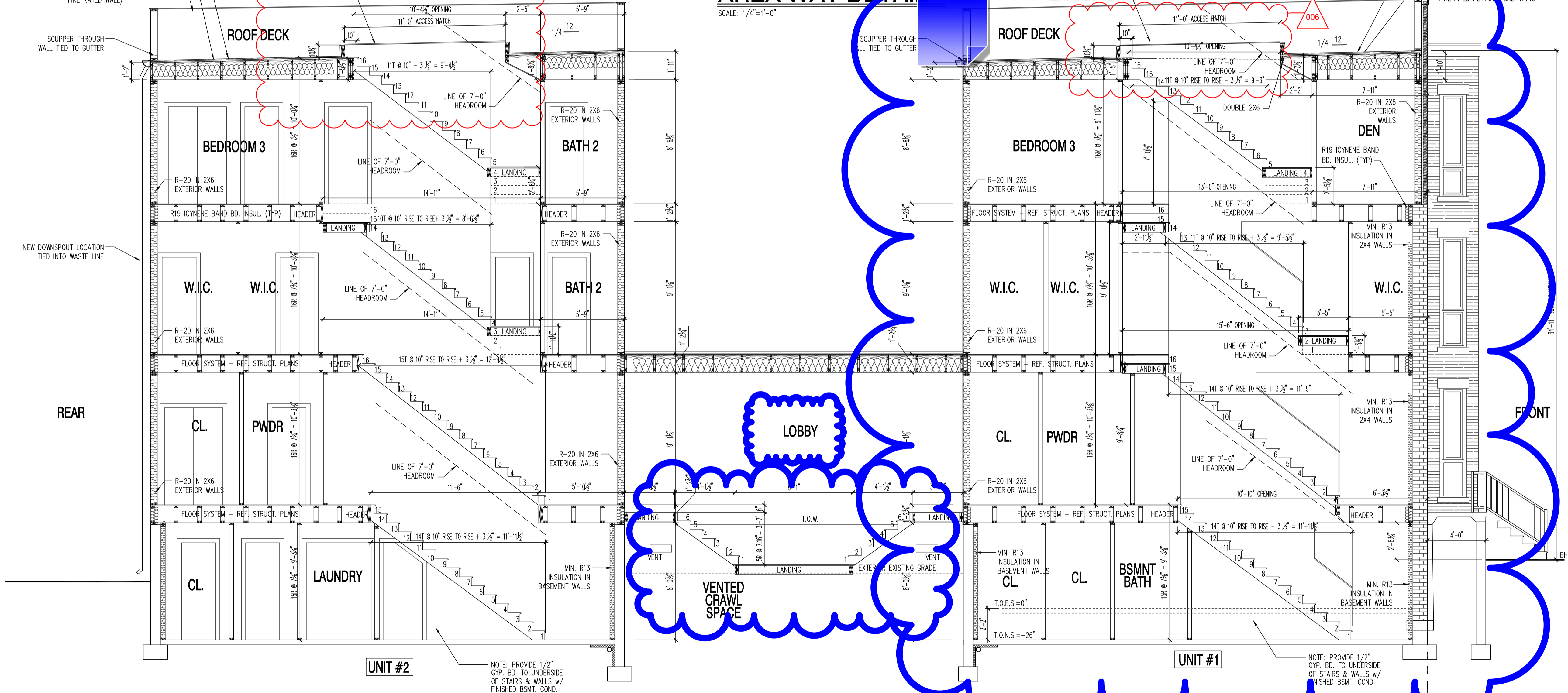


AREA WAY DETAIL
 SCALE: 1/4"=1'-0"

PROVIDE 1" RIGID OVER SHEATHING = R-5 WITH 2" SPRAY FOAM TO UNDERSIDE OF ROOF SHEATHING = R-13.2 WITH COMPRESSED R-38 UNFACED BATT = R-32 TOTAL OF R-50.2 (PROVIDE 1 LAYER THERMOPLY OR DRYWALL TO BOTTOM OF ROOF TRUSSES)

TPO ROOF MEMBRANE DIRECT APPLIED 1" RIGID INSULATION BOARD OVER 5/8" FIRERATED PLYWOOD SHEATHING 2X6 42" PARAPET WALL (1 HOUR FIRE RATED WALL)

PROVIDE 1" RIGID OVER SHEATHING = R-5 WITH 2" SPRAY FOAM TO UNDERSIDE OF ROOF SHEATHING = R-13.2 WITH COMPRESSED R-38 UNFACED BATT = R-32 TOTAL OF R-50.2 (FILL TRUSS TO BOTTOM OF DRYWALL WITH BATT)



BUILDING SECTION
 SCALE: 1/4"=1'-0"

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"

1125 7th St NE - STONY CREEK HOMES
 BUILDING SECTION



DRAWN BY:	MCR
DATE:	03/10/17
REV No.	DATE
006	07/24/18

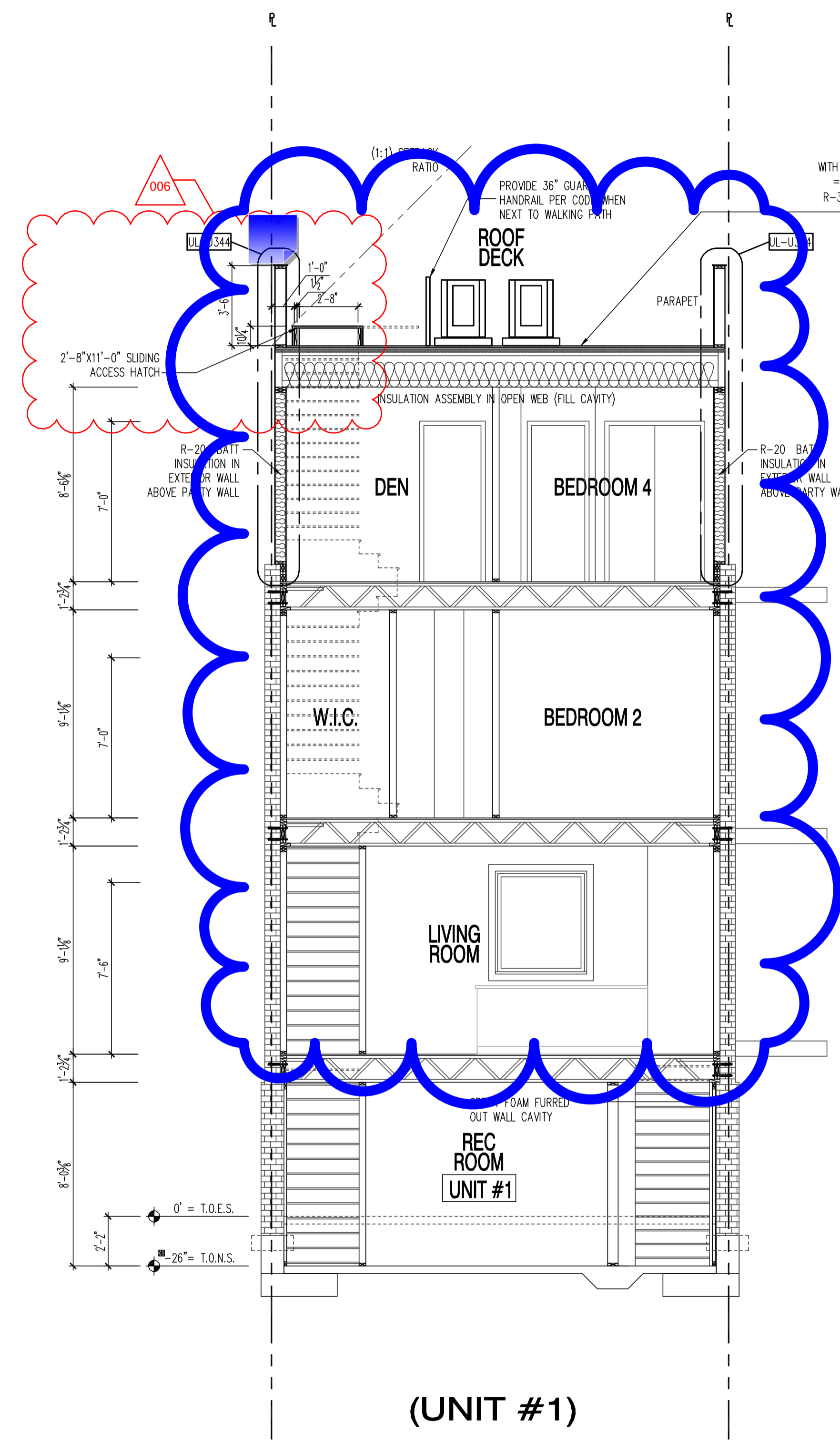
01.01.17

SHEET No.
 A5.2

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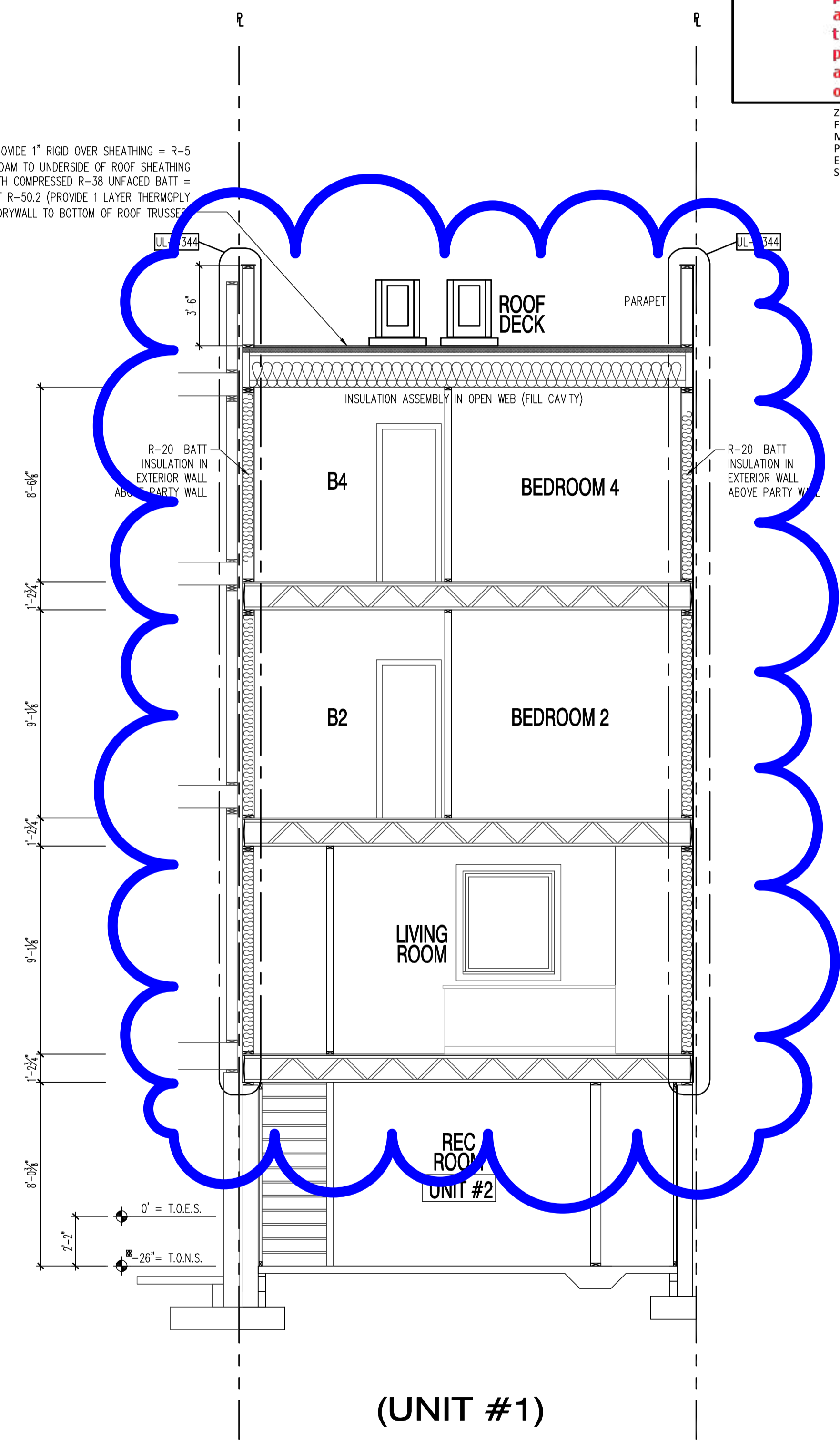
Zoning Review - Mamadou Ndiaw - 08-02-2018
 Fire Review - Luchi Lu - 08-02-2018
 Mechanical Review - Chrys Edet - 08-02-2018
 Plumbing Review - Chrys Edet - 08-02-2018
 Energy Review - Robert Campbell - 08-02-2018
 Structural Review - Bihon Debesai - 08-02-2018

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 Website: www.msegllc.com



(UNIT #1)

A BUILDING SECTION
 SCALE: 1/4"=1'-0"



(UNIT #1)

B BUILDING SECTION
 SCALE: 1/4"=1'-0"

22x34 Plotted at 1/4"=1'-0" - 11x17 Plotted at 1/8"=1'-0"

1125 7th St NE - STONY CREEK HOMES
 BUILDING SECTION



DRAWN BY:	
MCR	
DATE: 03/10/17	
REV No.	DATE
006	07/24/18

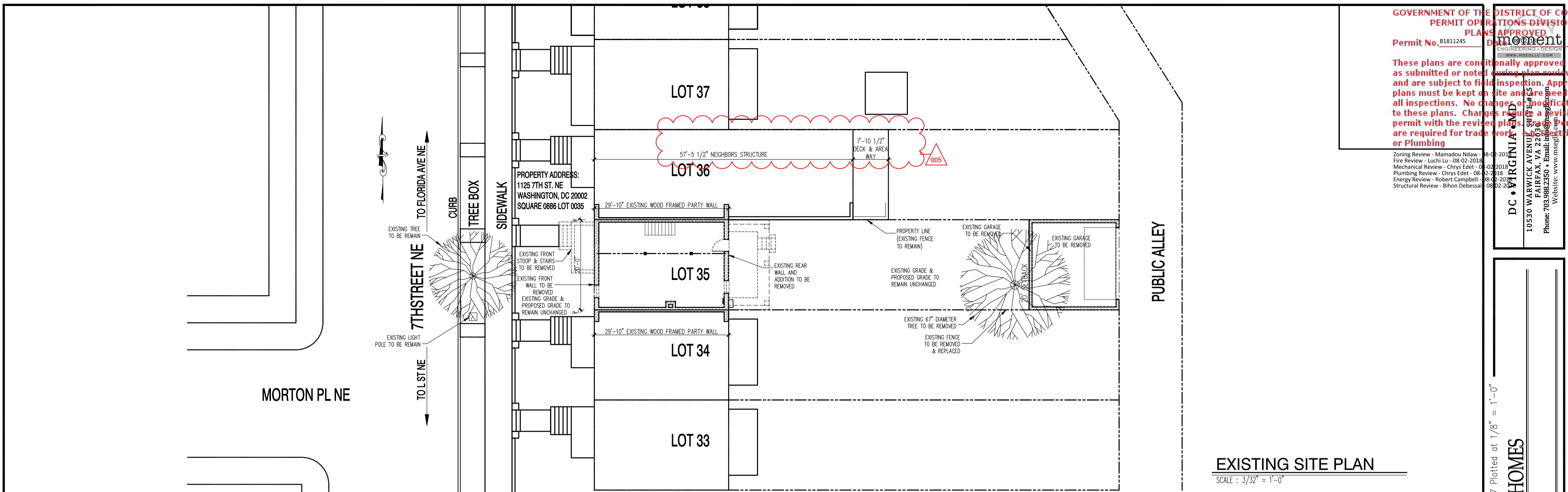
01.01.17

SHEET No.
 A53

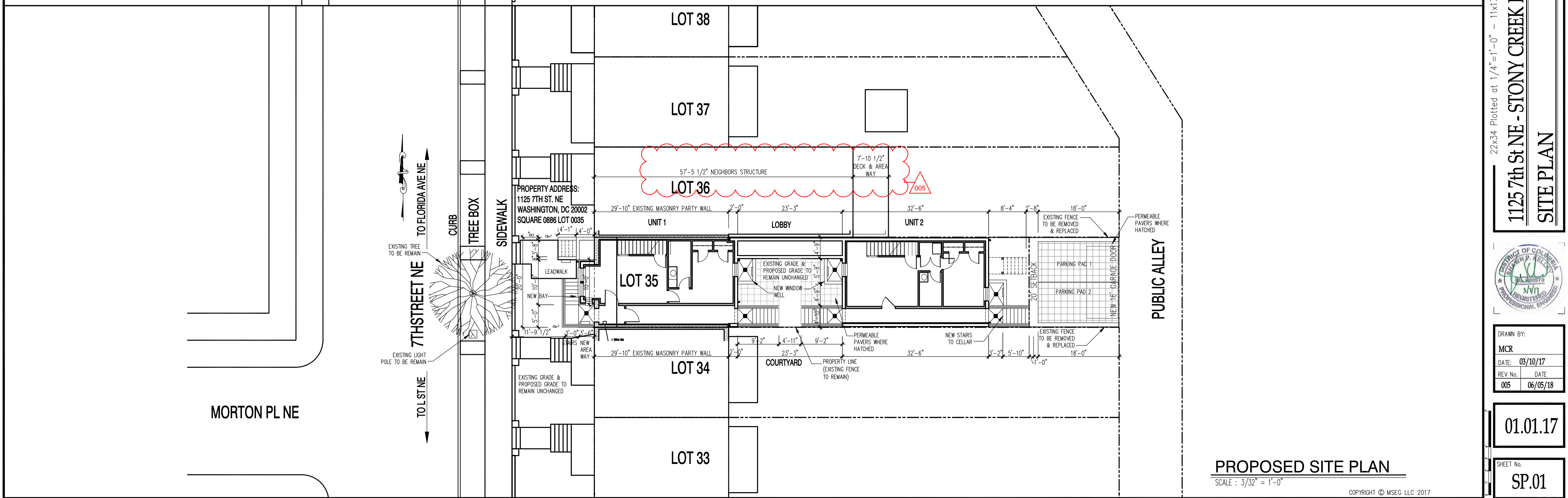
These plans are conditionally approved as submitted or noted during plan review and are subject to field inspection. Approved plans must be kept on site and are subject to all inspections. No changes or modifications to these plans. Changes require a revision permit with the revised plans. Electrical or Plumbing

Zoning Review - Mamadou Ndav - 08-02-2018
 Fire Review - Luchi Lu - 08-02-2018
 Mechanical Review - Chrys Edet - 08-02-2018
 Plumbing Review - Chrys Edet - 08-02-2018
 Energy Review - Robert Campbell - 08-02-2018
 Structural Review - Bihon Debessal - 08-02-2018

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 FAIRFAX, VA 22036
 Phone: 703.988.2350 • Email: info@msgllc.com
 Website: www.msge.com



EXISTING SITE PLAN
 SCALE : 3/32" = 1'-0"



PROPOSED SITE PLAN
 SCALE : 3/32" = 1'-0"

22x34 Plotted at 1/4" = 1'-0" - 11x17 Plotted at 1/8" = 1'-0"

1125 7th St NE - STONY CREEK HOMES
SITE PLAN



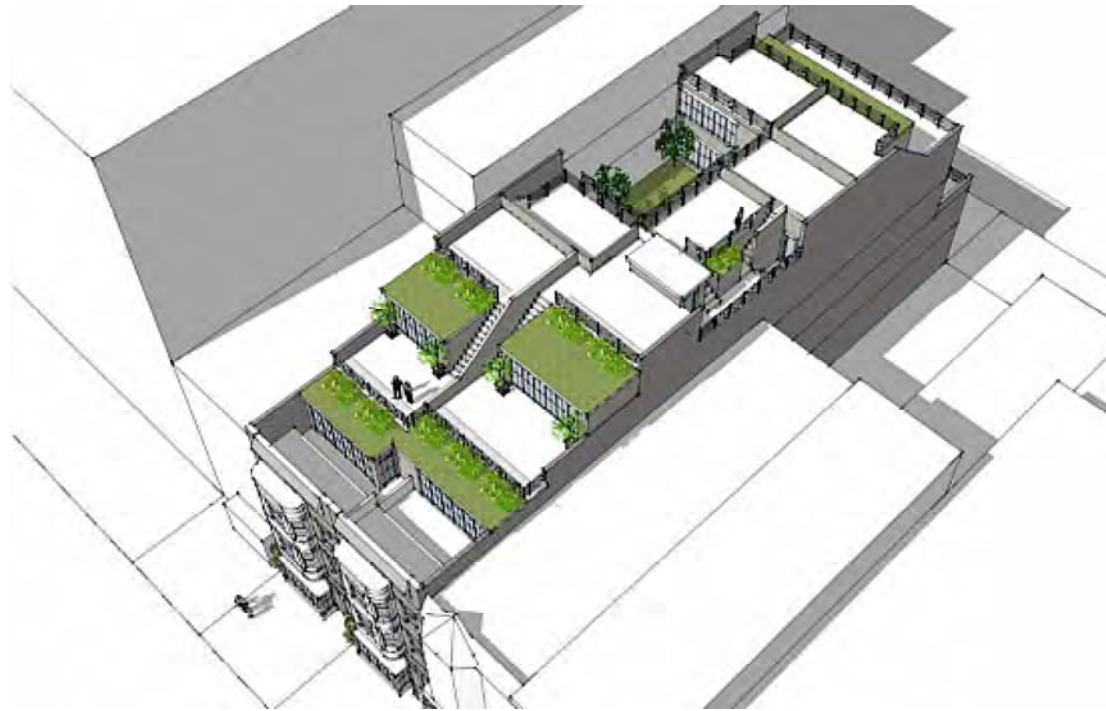
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DATE:	03/10/17
REV No.	DATE
005	06/05/18

01.01.17

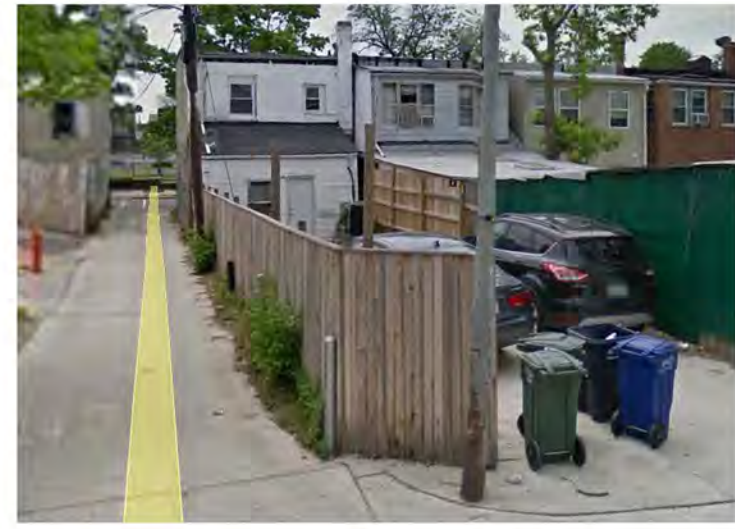
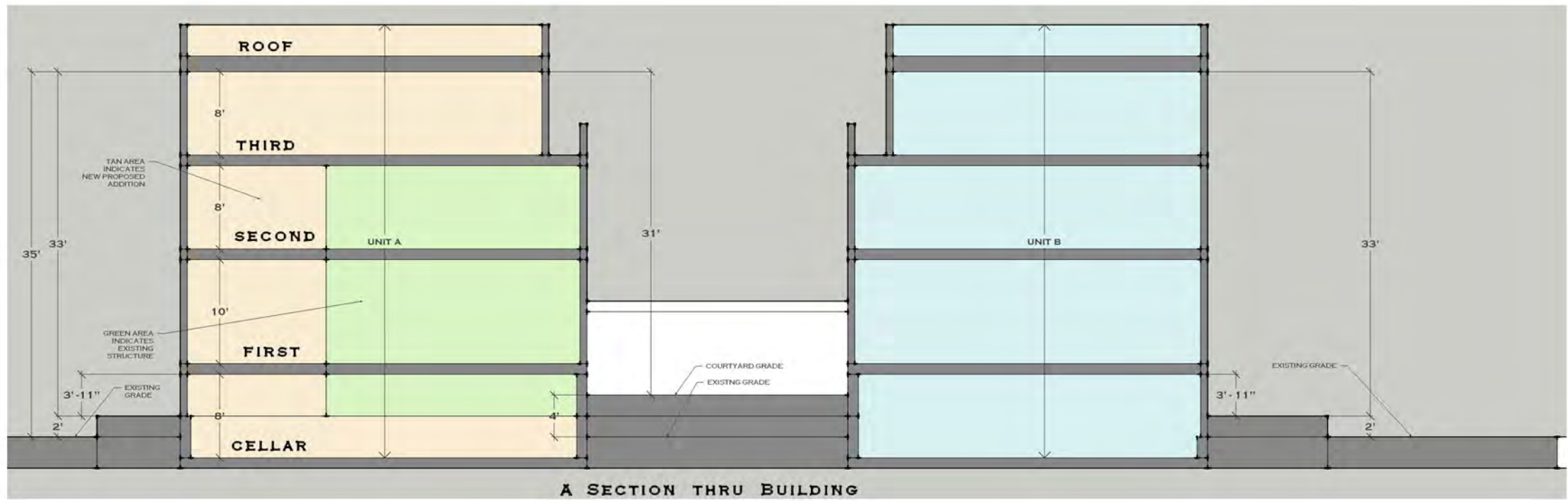
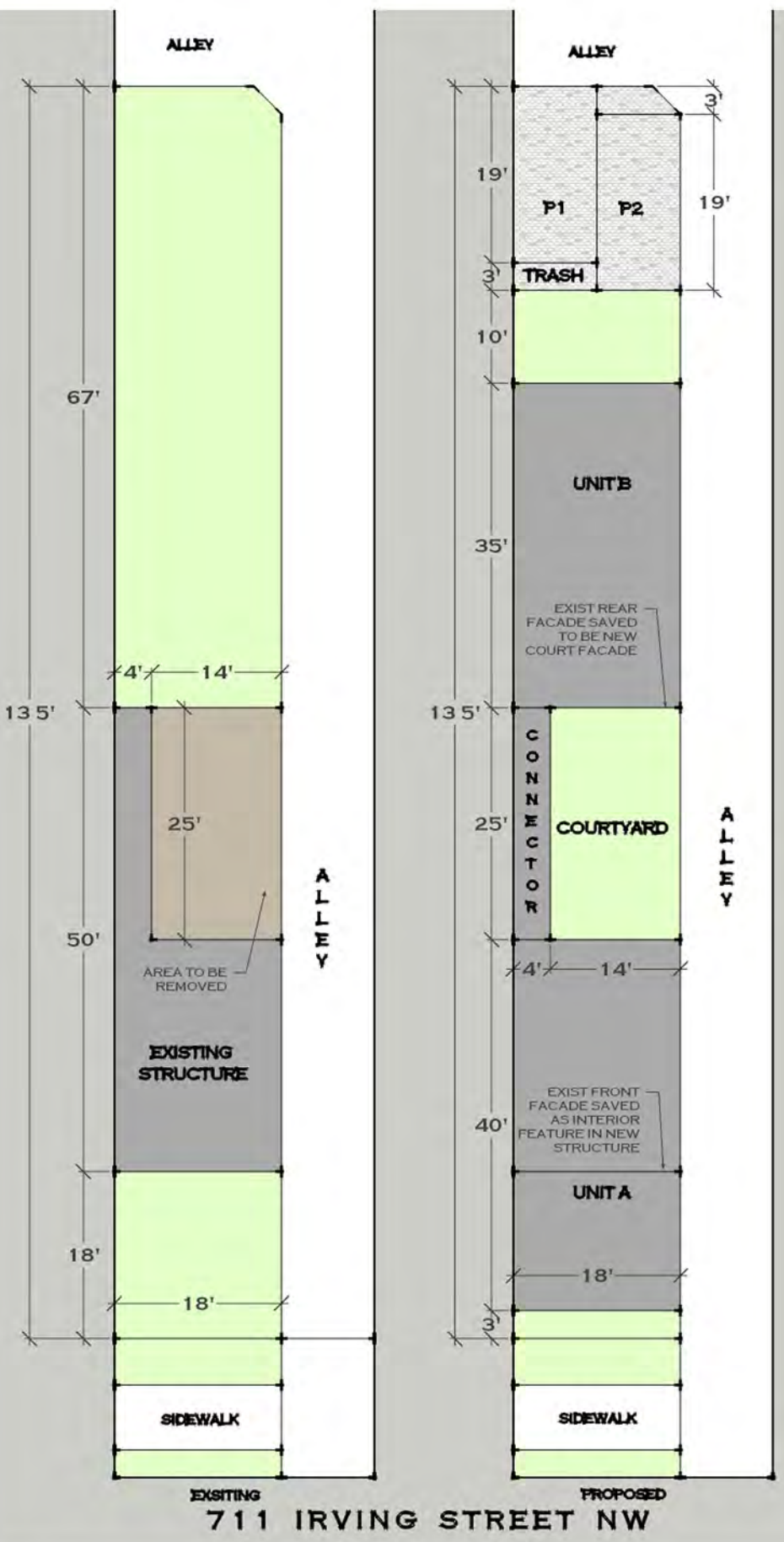
SHEET No.
 SP.01











**711 IRVING STREET NW
WASHINGTON DC**

ARCADIA DESIGN
1737 JOHNSON AVE NW
WASHINGTON DC 20009
jfoster@arcadiadesign-dc.com 202-234-8222

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